

**TOWNSHIP OF VERONA  
BOARD OF ADJUSTMENT APPLICATION**

DATE APPLICATION 12/03/2025

CASE # 2026-02

PROPERTY ADDRESS 56 Floyd Road, Verona, NJ 07044

BLOCK 801 LOT 6 ZONE R-40

APPLICANT'S NAME Chris Dougherty

PHONE # 203-331-7367 CELL PHONE # \_\_\_\_\_

EMAIL cjdougherty522@gmail.com

PROPERTY OWNER'S NAME Chris Dougherty

PROPERTY OWNER'S ADDRESS 56 Floyd Road, Verona, NJ 07044

PROPERTY OWNER'S PHONE # 203-331-7367 CELL # \_\_\_\_\_

PROPERTY OWNER'S EMAIL cjdougherty522@gmail.com

RELATIONSHIP OF APPLICANT TO OWNER Self

REQUEST IS HEREBY MADE FOR PERMISSION TO DO THE FOLLOWING:

Provide a two story rear and side addition for a new family room, expanded kitchen, office and new laundry area and mud room. Second floor to be a Primary Bedroom suite with bathroom and closets. Provide new dormer on the existing roof for a walk-up attic with bathroom.

CONTRARY TO THE FOLLOWING:

The proposed addition will encroach on the side yard setback of the North side and the South side. The addition and added rear deck will be over the allowed building coverage and impervious coverage. New HVAC condensers to be located in side yard.

LOT SIZE: EXISTING 5,063 SF PROPOSED 0 SF TOTAL 5,063 SF

HIEGHT: EXISTING 28'-7" PROPOSED 29'-3"

PERCENTAGE OF BUILDING COVERAGE: EXISTING 21.43% PROPOSED 29.05%

PERCENTAGE OF IMPROVED LOT COVERAGE: EXISTING 61.88% PROPOSED 51.53%

PRESENT USE Single Family Residence PROPOSED USE Single Family Residence

SET BACKS OF BUILDING:	REQUIRED	EXISTING	PROPOSED
FRONT YARD	<u>30'-0"</u>	<u>30.14'</u>	<u>30.14'</u>
REAR YARD	<u>30'-0"</u>	<u>63'</u>	<u>45.95'</u>
SIDE YARD (1)	<u>8'-0"</u>	<u>2.6'</u>	<u>2.2'</u>
SIDE YARD (2)	<u>10'-0"</u>	<u>12.2'</u>	<u>3.05'</u>

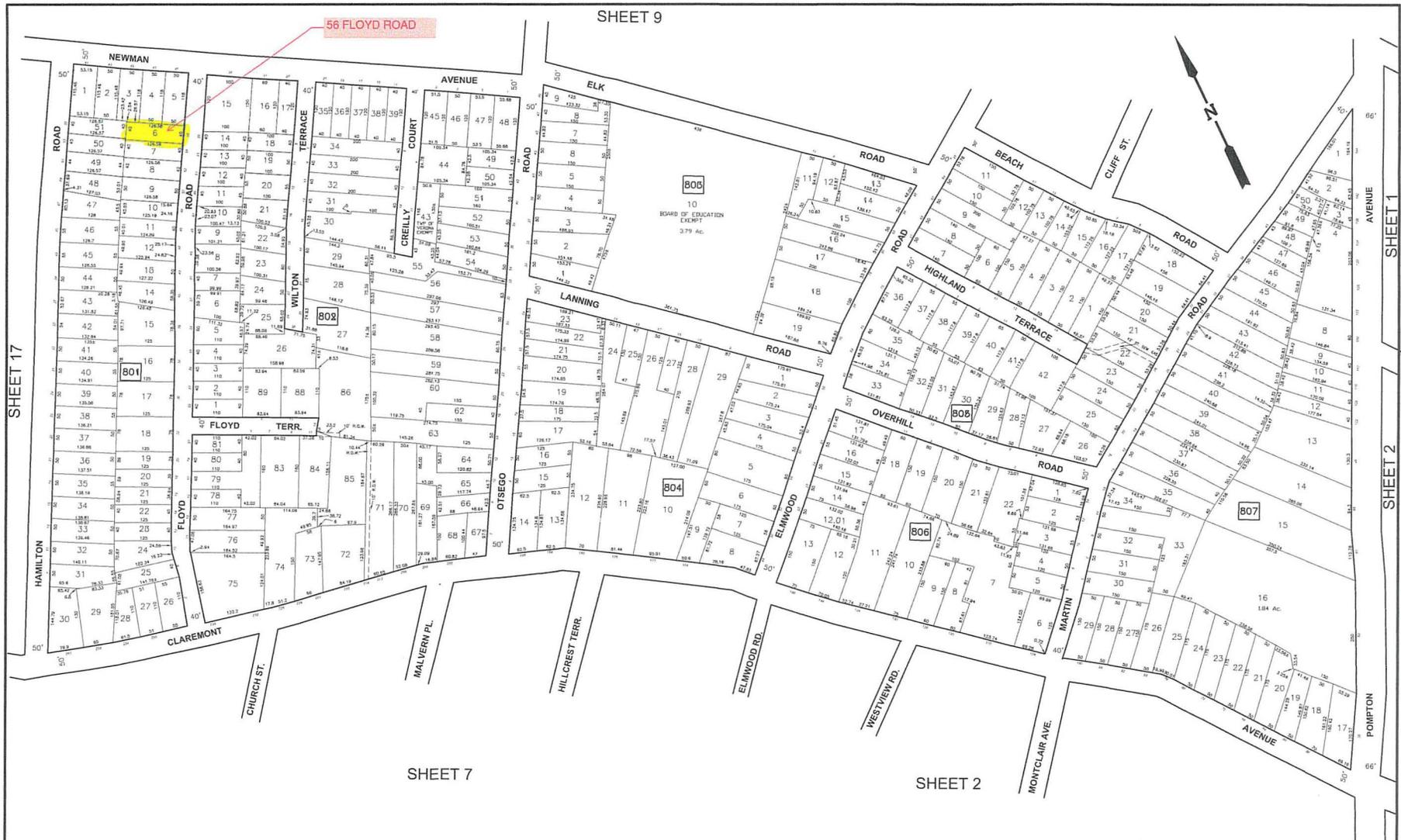
DATE PROPERTY WAS ACQUIRED 04/20/2017

Expert witness(es) that will present evidence on behalf of this application:

Attorney: Name \_\_\_\_\_  
Address \_\_\_\_\_  
Phone # \_\_\_\_\_  
Fax # \_\_\_\_\_  
Email \_\_\_\_\_

Architect/Engineer: Name Evan Scott - EScott Architects  
Address 28 Arlington Ave, Caldwell, NJ 07006  
Phone # 973-552-8886  
Fax # \_\_\_\_\_  
Email evan@escottarchitects.com

Planner: Name \_\_\_\_\_  
Address \_\_\_\_\_  
Phone # \_\_\_\_\_  
Fax # \_\_\_\_\_



PLS	LOGNO	DATE	REVISION

THIS IS A DIGITIZED COPY OF THE TAX MAP PREPARED BY CASEY & KELLER INC AND DATED JAN 1, 1983. THE APPROVED ORIGINAL IS ON FILE IN THE OFFICE OF THE ENGINEER.

THIS MAP HAS BEEN GIVEN A FORMAL CERTIFICATION DIVISION OF TAXATION ON NOVEMBER 27, 2015, SIGNED BY JUDY P. MILLER AND TIFFANY A. FIELDS AND ASSIGNED SERIAL NUMBER 1067

**TAX MAP**  
**TOWNSHIP OF VERONA**  
 ESSEX COUNTY, NEW JERSEY  
 SCALE 1"=100'      JANUARY 1, 2017  
 PREPARED BY  
**JAMES M. HELB, P.E., P.L.S., P.P.**  
 NEW JERSEY LICENSE NO. 24272  
 TOWNSHIP ENGINEER  
 10 COMMERCE COURT  
 VERONA, NJ 07044

**TOWNSHIP OF VERONA**  
**COUNTY OF ESSEX, NEW JERSEY**

**TOWNSHIP MANAGER**  
**KEVIN O'SULLIVAN**  
**TOWNSHIP CLERK**  
**JENNIFER KIERNAN**



**DEPUTY MANAGER**  
**MICHAEL KRAUS**  
**TOWNSHIP ATTORNEY**  
**BRIAN J. ALOIA, ESQ.**

**VERONA COMMUNITY CENTER**  
880 BLOOMFIELD AVENUE  
VERONA, NEW JERSEY 07044

**MUNICIPAL BUILDING**  
600 BLOOMFIELD AVENUE  
VERONA, NEW JERSEY 07044  
  
(973) 239-3220  
WWW.VERONANJ.ORG

**DEPARTMENT OF PUBLIC WORKS**  
10 COMMERCE COURT  
VERONA, NEW JERSEY 07044

**Zoning Office      880 Bloomfield Avenue, Verona, NJ 07044      973-857-4772**

**November 24, 2025**

**Zoning Permit Application #2025-193– DENIED – Addition, Deck, HVAC**

**Applicant:**            **EScott Architects**  
                              **Evan Scott**  
                              **28 Arlington Avenue Caldwell, NJ 07006**

**Owner:**                **Christopher Dougherty**  
                              **56 Floyd Road**  
                              **Verona, NJ 07044**

**Property:**            **56 Floyd Road; Block 801, Lot 6**

**Zone:**                 **R-40 (Very-High-Density Single-Family) Zone District**

**Submittals:**

This office is in receipt of the following:

- Township of Verona Residential Permit Application;
- Architectural Plans by EScott Architects, LLC, signed and sealed by Evan Scott, RA, dated 10/10/2025, last revised for permit submission 10/13/2025;

**ZONING REQUEST:**

Based upon the zoning permit application, the applicant is seeking approval to construct a new 737 square foot rear 2 story addition with a full basement and attic; a 406 square foot deck inclusive of stairs, two HVAC units in rear yard and one HVAC unit in the attic space. No other requests have been submitted or shown and therefore have not been considered in this departments review. This review for Zoning only.

**ZONING DETERMINATION:**

- The property is located in the R-40 (Very-High-Density Single-Family) Zone District;
- As per § 150-17.6 (1) a single family home is permitted;
- As per § 150-17.6 D. (1) Minimum lot size: 4,000 square feet, existing is 5,063 square feet – Compliant;

- As per § 150-17.6 D. (2) Minimum lot width: 40 feet; existing is 40 feet wide – Compliant;
- As per § 150-17.6 D. (3) Maximum lot coverage 30% or 1,518.9 square feet; existing is 21.43% or 1,085 square feet and proposed is 29.05% or 1,471 square feet – Compliant;
- As per § 150-17.6 D. (4) Maximum improved lot coverage: 40% or 2,025.2 square feet; existing is 61.88% or 3,133 square feet – pre-existing non-conforming; proposed is 51.53% or 2,609 square feet – reduction of the pre-existing non-conforming;
- As per § 150-17.6 E. (1) Minimum front yard setback: 30 feet; existing and proposed is 30.14 feet – Compliant;

### Addition

- As per § 150-17.6 E (2) Minimum side yard setback (one): eight feet; existing is 0.83 feet from end of arched wall to SE side property line and **2.6 feet from existing dwelling wall** to SE side property line; proposed addition is 0.83 feet from end of arched wall to SE side property line and **2 feet 2<sup>7/8</sup> inches from proposed dwelling wall** to SE side property line; **A Variance is needed** as the pre-existing non-conforming 2.6 feet from existing dwelling wall is being exacerbated;
- As per § 150-17.6 E (2) Minimum side yard setback (one): eight feet; proposed addition is 12.2 feet from the NW side property line; proposed is 3.05 feet from the NW side property line – **A Variance is required**;
- As per § 150-17.6 E (3) Minimum side yard setbacks (both): 18 feet; existing is 14.8 feet from dwelling, not archway; proposed from dwelling and not archway is 5 feet 2.879 inches; exacerbating the pre-existing non-conforming setback – **A Variance is needed**;
- As per § 150-17.6 E (5) Minimum rear yard setback: 30 feet; existing is 63 feet; proposed addition is 45.95 feet – Compliant;
- As per § 150-17.6 E (6) Maximum height (stories/feet): 2.5/30; existing is 2.5/28.7 feet; proposed is 2.5/29'3" - Compliant;

### Attic:

- Existing attic floor is 212 square feet; proposed 327 square feet;
  - Habitable attic calculation per Evan Scott, RA:
  - Tallest area is 7';
  - Minimum 5' height area to get reasonable square footage is 288 square feet of living habitable area;
  - The floor area of the second floor (floor immediately below) is 1,032 square feet and 1/3 of this is 344 square feet inclusive of the bathroom area although it does not count towards habitable;
- Attic per UCC is not considered a full story and is considered as ½ story.

### Deck

- A 384 square feet rear deck with 22 square feet of new stairs is proposed;

- As per § 150-17.6 F. (1) Minimum side yard setback (one): eight feet; deck is proposed as 3± feet from the SE side property line; 4.75± feet from the NW side property line – **Variations are required;**
- As per § 150-17.6 F (2) Minimum rear yard setback: 10 feet; deck is proposed as 34 feet from the rear property line – Compliant;
- As per § 150-17.6 F (5) Maximum height (stories/feet): 1 1/2 stories; 15 feet; deck is proposed as 4± feet from grade – Compliant;
- New steps are proposed at 8 feet wide, 2.75 feet projection into yard, 3± feet in height from grade;
- § 150-7.21 Decks. If an existing building fails to comply with zoning setback requirements, uncovered decks may be added, provided that all of the following conditions are met:
  - A. That the deck does not exceed 20% of the building footprint; dwelling footprint is proposed at 1,471 square feet where 20% is 294.2 square feet; proposed deck is 384 square feet – **Condition not met;**
  - B. That no portion of the deck shall be elevated more than four feet above grade, excluding handrails and guardrails; proposed deck is 4± feet from grade;
  - C. That the deck does not extend into the side yard beyond the line of the existing dwelling unless the deck meets the side yard setback requirements of this chapter; proposed deck is within the **proposed** dwelling setback that require variations;
  - D. That the deck shall be no less than five feet from the side lot line and no less than 20 feet from the rear lot line; proposed deck is 3± feet from the SE lot line and 4.75 from the NW side lot line; 34 feet from the rear lot line - **Condition not met;**
  - **Variance is required;**

### HVAC

- Two HVAC units are proposed at the rear of the proposed deck; 9 square feet each;
- As per § 150-17.6 F. (1) Minimum side yard setback (one): eight feet; HVAC is proposed as 3± feet from the SE side property line; 30.3 feet from the NW side property line – **A Variance is required;**
- As per § 150-17.6 F (2) Minimum rear yard setback: 10 feet; deck is proposed as 34 feet from the rear property line – Compliant;
- Per § 150-7.13 A. No mechanical equipment shall be located within a required minimum yard requirement and shall not extend more than 5 feet from the structure for which they serve; proposed HVAC units are shown as 12.25 feet from the rear of the dwelling – **A Variance is required;**

### Rear Yard Coverage:

- As per § 150-17.5 F (4) Maximum aggregate area covered by accessory structures in the yard it is located in: 15%; yard is 1,852 square feet where 15% is 277.8 square feet; proposed is 29.2% or 541 square feet – **A Variance is required;**
- The net disturbance is less than 400 square feet; Engineering / Stormwater review is not required:

- No trees are shown to be removed; Please refer to § 493-20 Protection of trees during construction.
- A proposed limit of disturbance of 5000 SF requires HEPCSD certification.

**ZONING DECISION:**

Based on the reviewed submitted items, the applicant's request for a Zoning Permit has been **DENIED** by this office.

Please feel free to contact this office should you have any questions.

Respectfully Submitted,



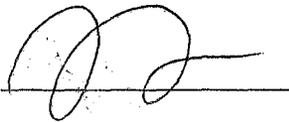
**Kathleen Miesch**  
Zoning Official

cc: Dee Dee Carpinelli – Board Secretary

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY  
COUNTY OF ESSEX

Christopher Dougherty OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW ON  
OATH DEPOSED AND SAYS, THAT DEPONENT RESIDES AT 56 Floyd Road, IN THE CITY OF  
Verona IN THE COUNTY OF Essex AND STATE OF NJ AND THAT  
Christopher Dougherty IS THE OWNER IN FEE OF ALL THAT CERTAIN LOT, PIECE OF LAND,  
SITUATED, LYING AND BEING IN THE TOWNSHIP OF VERONA AFORESAID AND KNOWN AND DESIGNATED AS  
BLOCK 801 AND LOT 6 AS SHOWN ON THE TAX MAPS OF THE TOWNSHIP OF VERONA.



NOTARY



OWNER

**JEFFREY M. LOGAN**  
Notary Public, State of New Jersey  
My Commission Expires Jul 1, 2030

AFFIDAVIT OF APPLICANT

COUNTY OF ESSEX  
STATE OF NEW JERSEY

Christopher Dougherty OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW, ON  
OATH DEPOSED AND SAYS THAT ALL OF THE ABOVE STATEMENTS CONTAINED IN THE PAPERS SUBMITTED  
HEREWITH ARE TRUE. SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 8 DAY OF December  
2025.

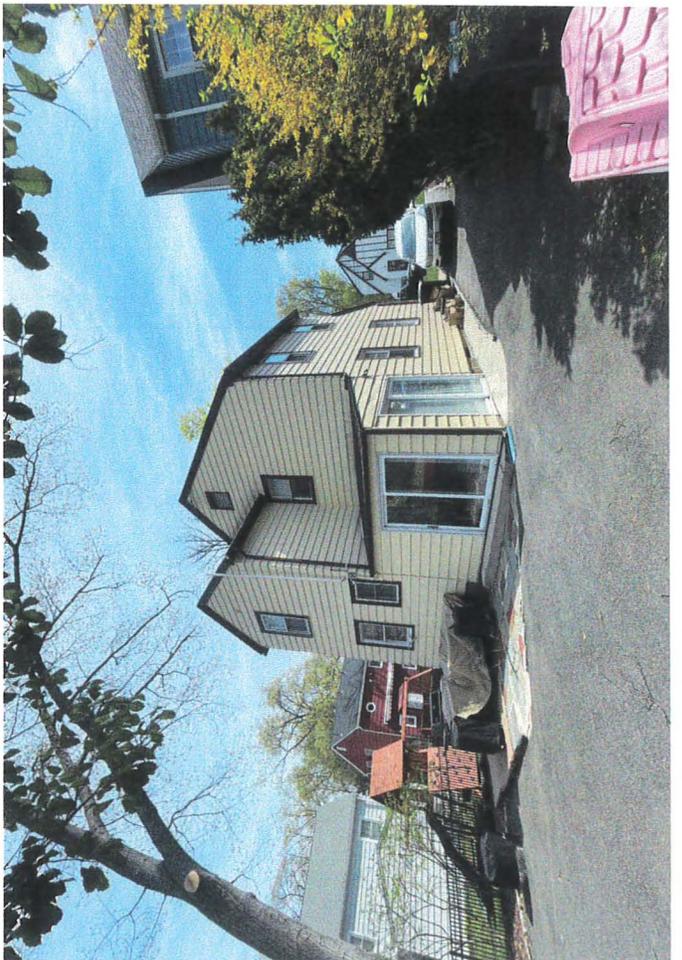
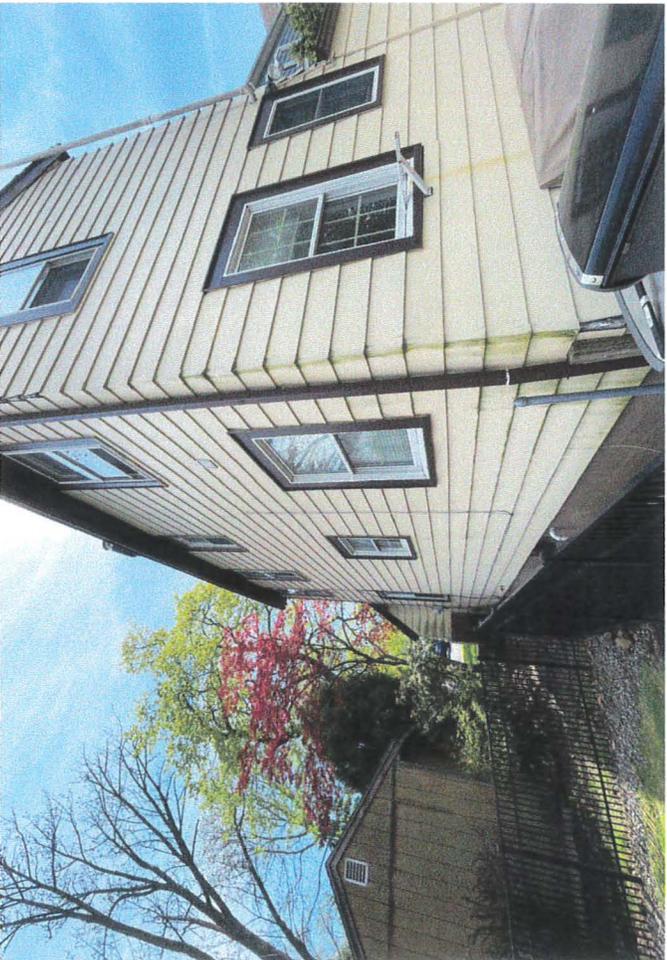
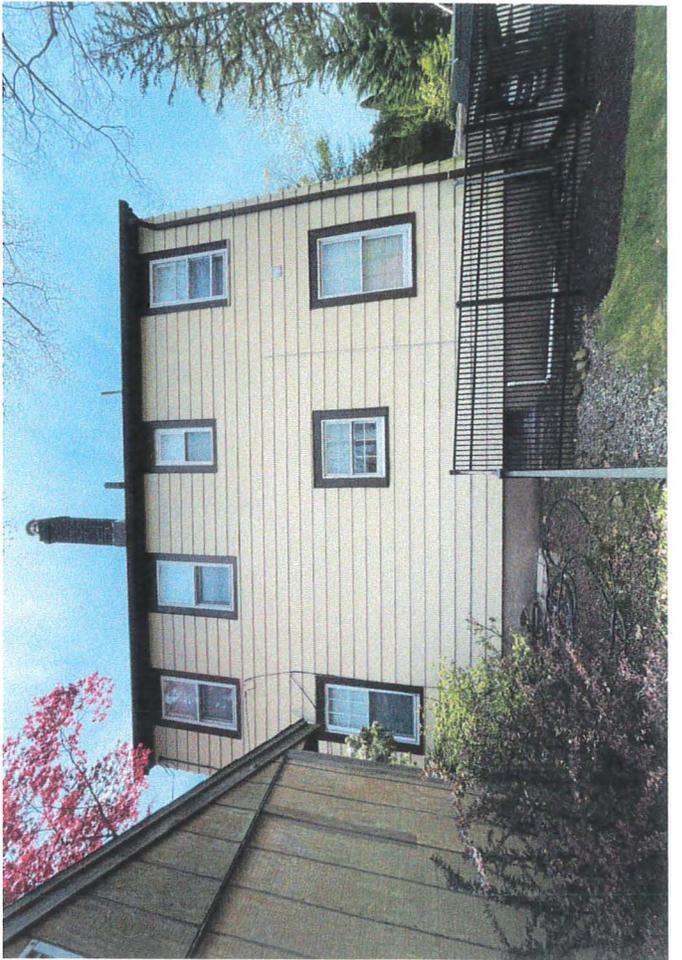
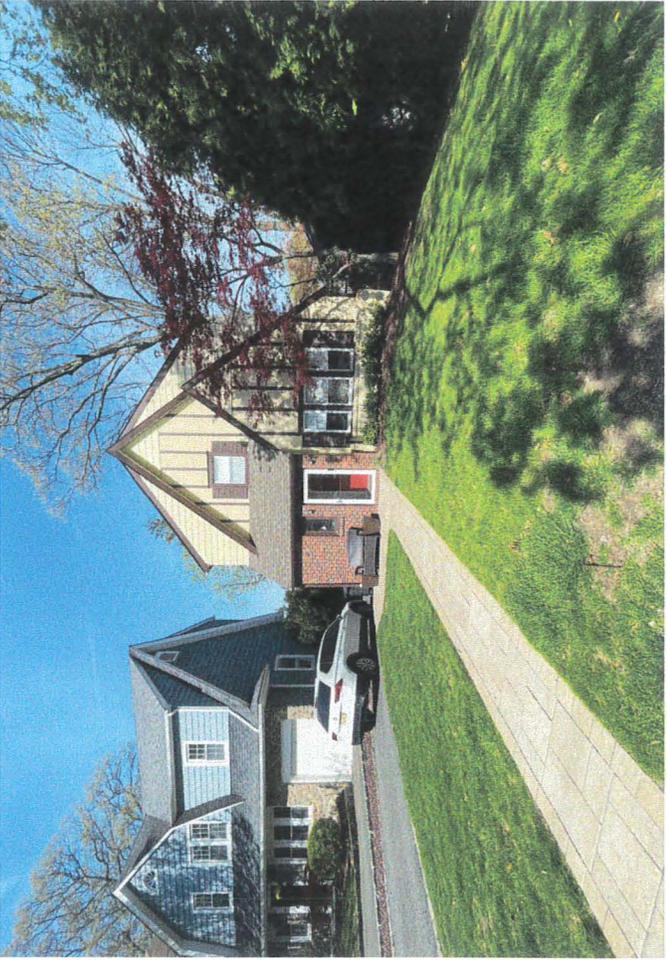


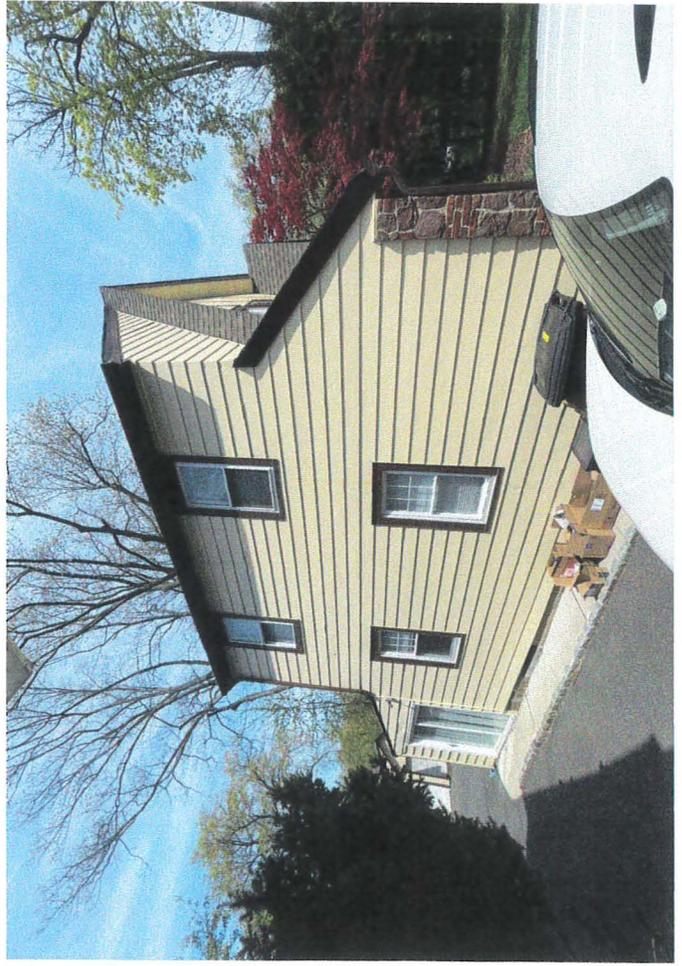
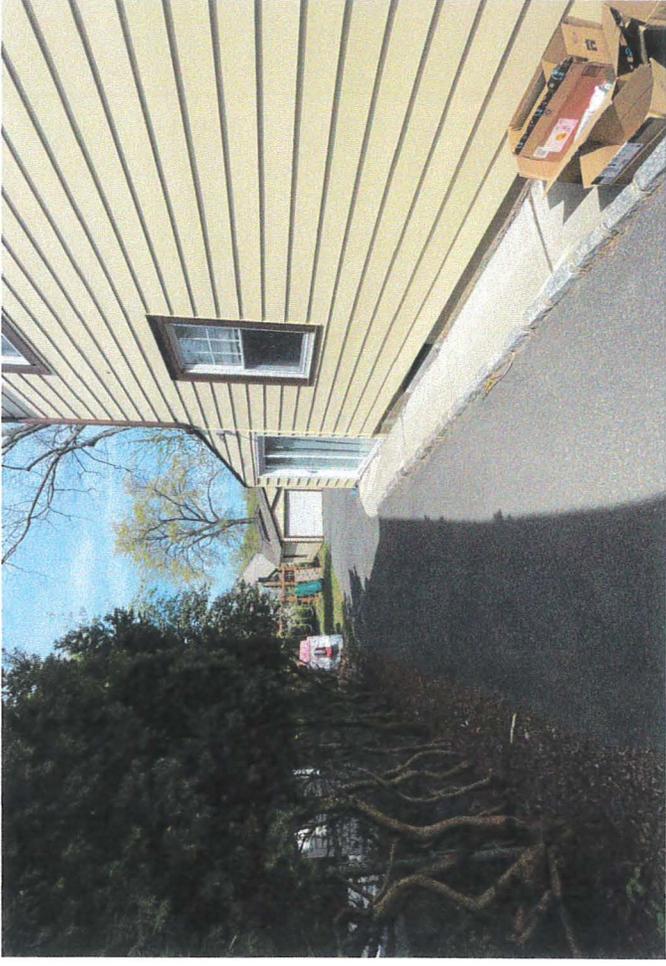
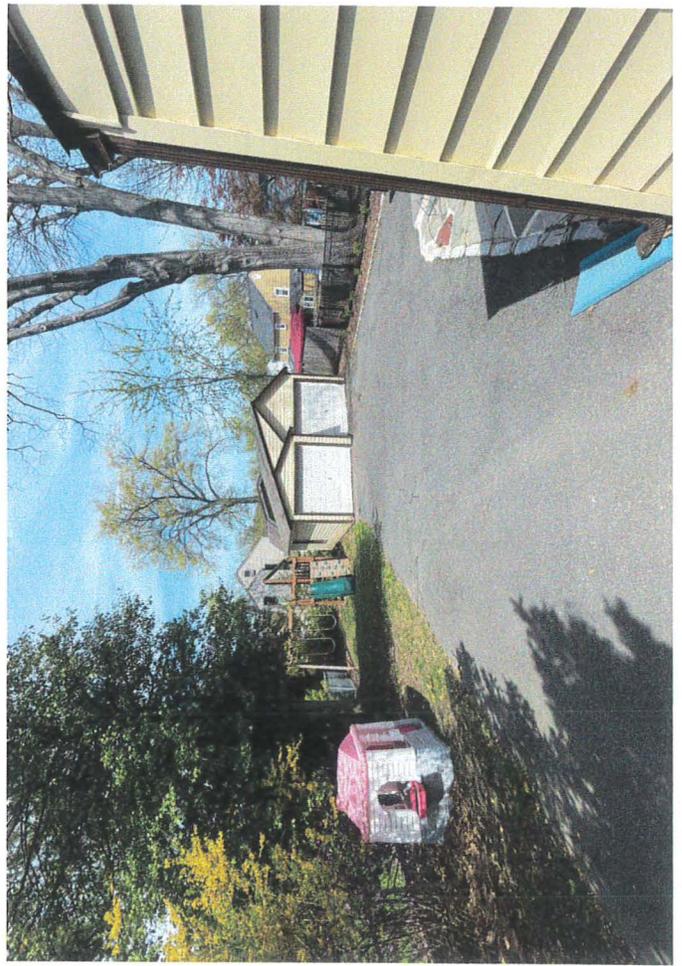
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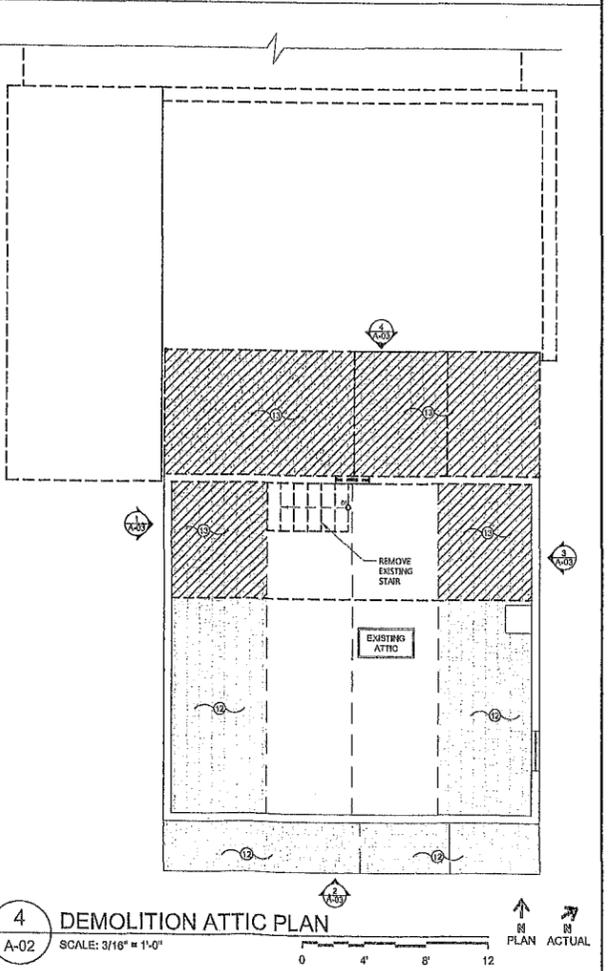
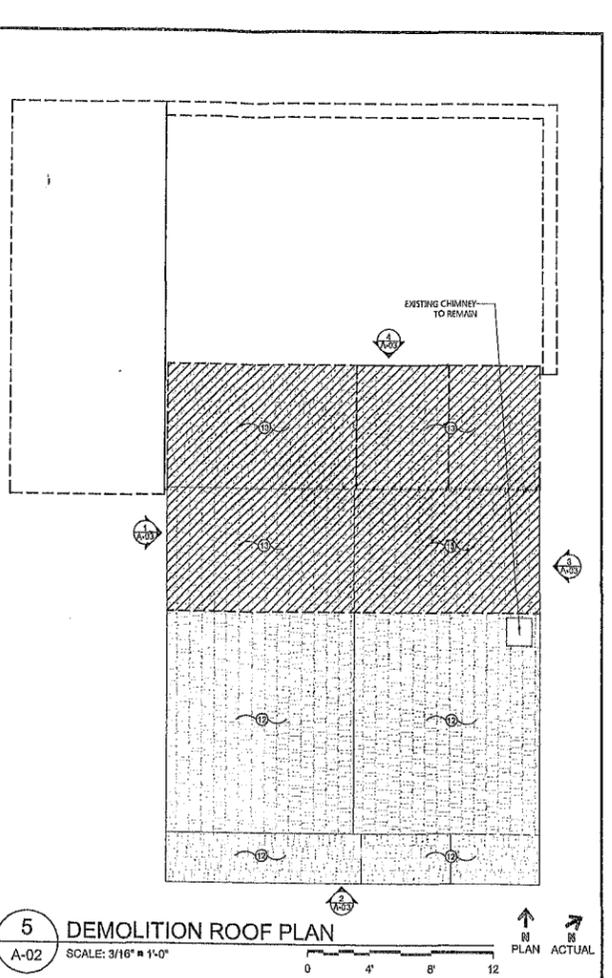
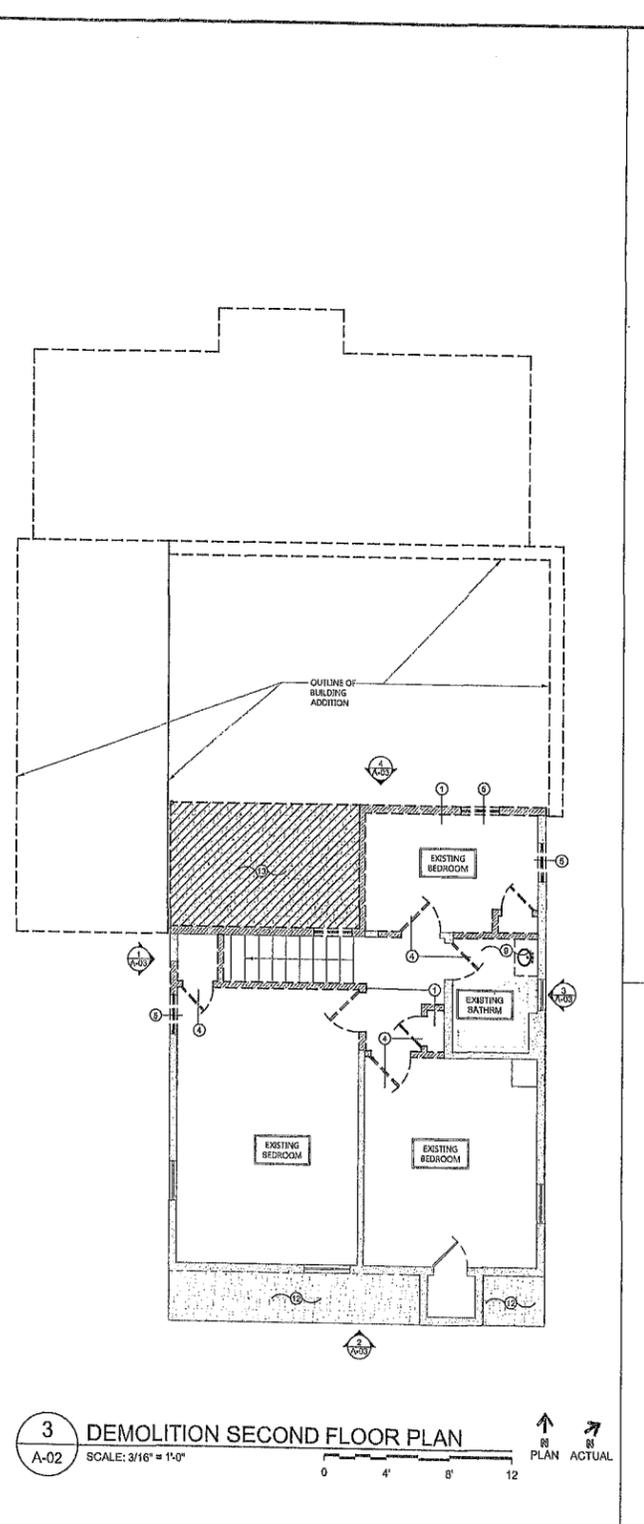
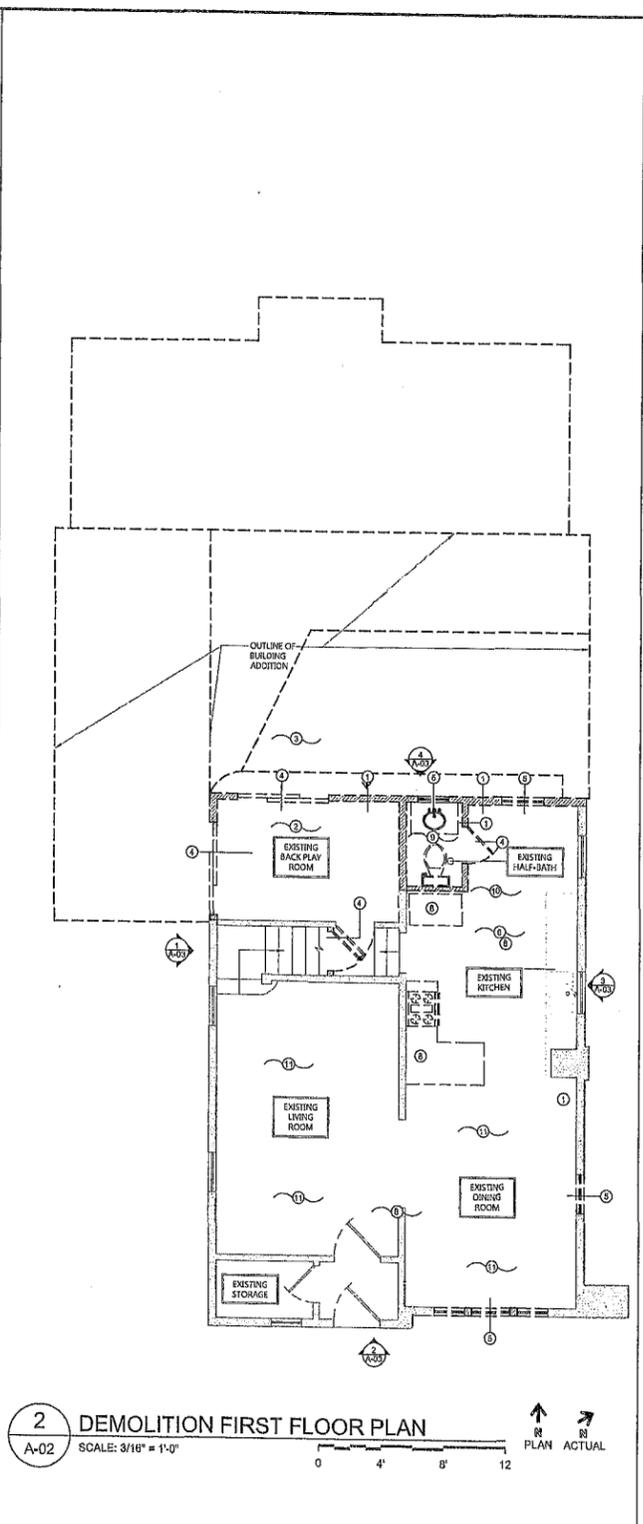
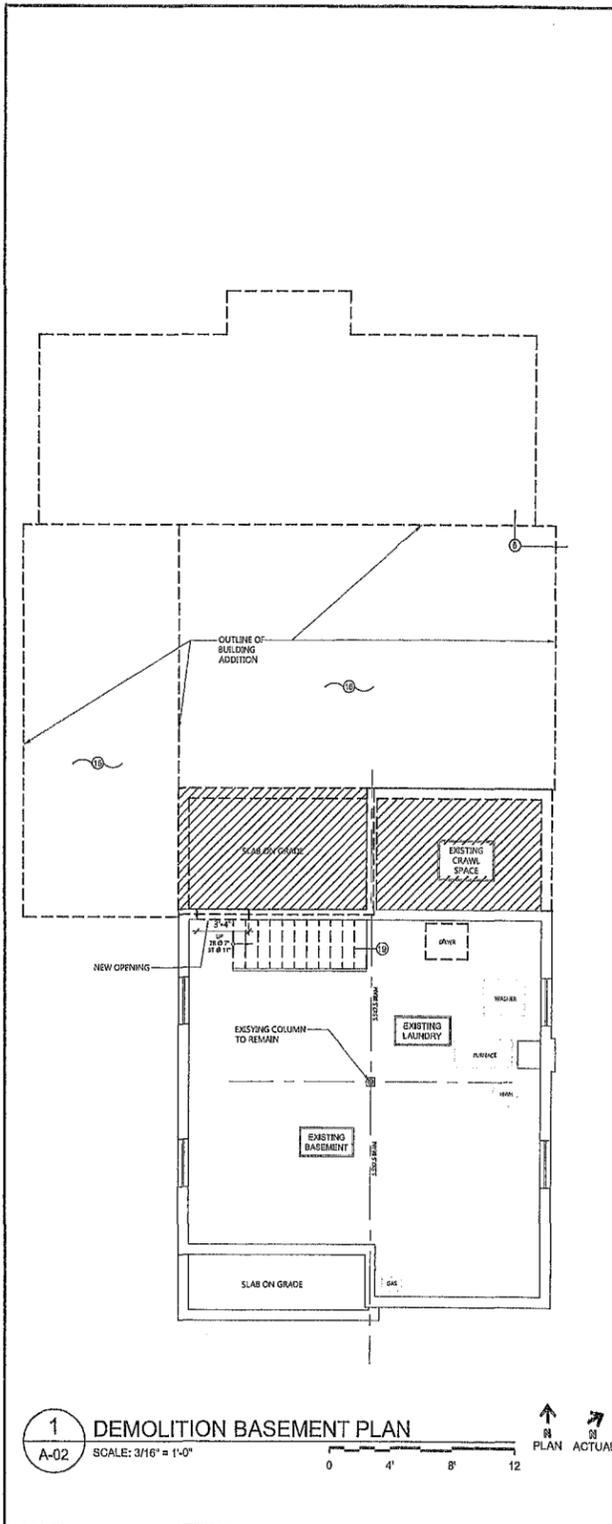
APPLICANT

**JEFFREY M. LOGAN**  
Notary Public, State of New Jersey  
My Commission Expires Jul 1, 2030







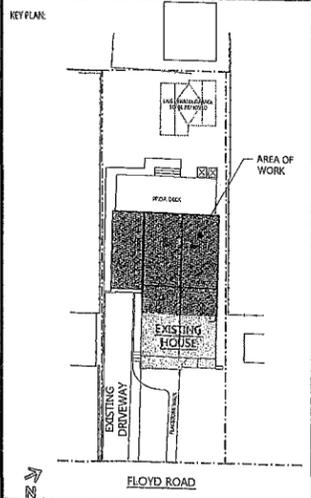
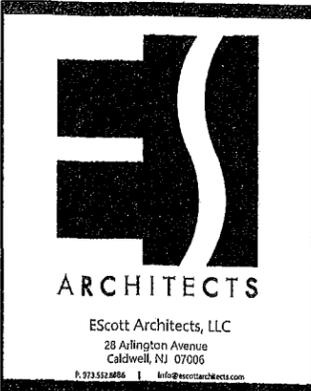


**DEMOLITION LEGEND**

	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	WINDOW TO BE REMOVED
	DOOR & FRAME TO BE REMOVED
	ROOM NAME

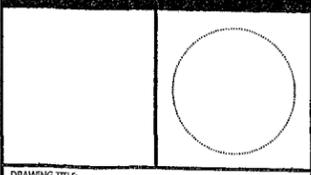
- GENERAL DEMOLITION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF DEMOLITION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, WALL, PARTITIONS, BEAMS ETC. DURING DEMOLITION TO MAINTAIN STRUCTURAL INTEGRITY. SEE STRUCTURAL NOTES ON DRAWING A-06.
  - CONTRACTOR SHALL COVER AND TARP AREAS OF ROOF DURING DEMOLITION AND CONSTRUCTION TO ENSURE NO WATER AND DEBRIS PENETRATION.
  - CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH OTHER TRADES.
  - CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL DEMOLITION WORK.
  - CONTRACTOR SHALL REMOVE ANY UNUSED PLUMBING IN FLOOR PRIOR TO COMMENCING WORK. CONTRACTOR TO RELOCATE ANY EXISTING PIPING OBSTRUCTING WITH NEW WORK.
  - EXISTING ELECTRICAL CONDUIT, WIRES AND BOXES IN AREAS OF WORK SHALL BE REMOVED AND REPLACED WITH NEW. ENSURE EXISTING OUTLETS, SWITCHES AND LIGHTS TO REMAIN ARE IN WORKING ORDER.
  - CONTRACTOR TO VERIFY NO EXISTING TELECOMMUNICATION WIRES, COAXIAL CABLE AND OTHER EXISTING WIRING OR DEVICES ARE REMOVED AND OR DAMAGED DURING DEMOLITION.

- DEMOLITION KEY NOTES**
- EXISTING WALL TO BE REMOVED IN ITS ENTIRETY INCLUDING SHEATHING, STUDS, INSULATION, BLOCKING & THE LIKE.
  - REMOVE EXISTING PLAYBACK ROOM FOR BUILDING EXPANSION. THIS INCLUDES BUT NOT LIMITED FOOTING, FLOOR, WALLS, ROOF.
  - EXISTING SLAB, PATIO AND ASPHALT TO BE REMOVED. PERFORM EXCAVATION FOR NEW FOOTINGS (BUILDING ADDITION AND STAIRS)
  - REMOVE EXISTING DOOR, FRAMING, TRIM & ASSOCIATED HARDWARE. SALVAGE ALL DOOR HARDWARE FOR POSSIBLE REUSE.
  - REMOVE EXISTING WINDOW, WINDOW FRAMING, TRIM AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
  - EXISTING TILE FLOORING TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO GROUT, SETTING BED, SUB-FLOOR AND THE LIKE.
  - EXISTING KITCHEN ISLAND ONLY TO BE REMOVED INCLUDING CABINETS, COUNTER TOP, AND THE LIKE.
  - EXISTING KITCHEN APPLIANCES AND FLOOR/WALL CABINETS TO BE REMOVED. CONFIRM WITH OWNER ON RELOCATION AND REUSE.
  - EXISTING PLUMBING FIXTURE TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO HANGERS, PIPING AND THE LIKE.
  - EXISTING CEILING TO BE REMOVED IN ITS ENTIRETY.
  - PROTECT WOOD FLOORS DURING CONSTRUCTION AS REQUIRED SO NO DENTING OR DAMAGE IS DONE DURING DEMOLITION OR CONSTRUCTION.
  - EXISTING ROOF SHINGLES TO REMAIN.
  - REMOVE EXISTING ROOF SHINGLES, SHEATHING, RAFTERS AND ASSOCIATED ITEMS FOR NEW ADDITION.
  - CREATE NEW TRENCH FOR CONTINUOUS FOOTING.
  - PREPARE AREA TO RECEIVE NEW CONCRETE SLAB ON GRADE.
  - PREPARE AREA TO RECEIVE NEW BASEMENT (FOOTING, COLUMN AND FOUNDATION WALLS)
  - REMOVE BUILDING FOOTING/FOUNDATION WALLS & SLAB.
  - PRESSURE WASH SIDING/EXTERIOR WALLS TO REMOVE BUILT-UP DIRT, GRIM AND PREPARE WALLS SURFACES FOR NEW PAINT APPLICATION.
  - EXISTING STAIRS INCLUDING TREADS, RISERS, STRINGERS AND RAILINGS TO BE REMOVED IN ITS ENTIRETY.



NO.	DATE	DESCRIPTION
2	10/13/25	ISSUED FOR BID
1	10/10/25	ISSUED FOR ZONING

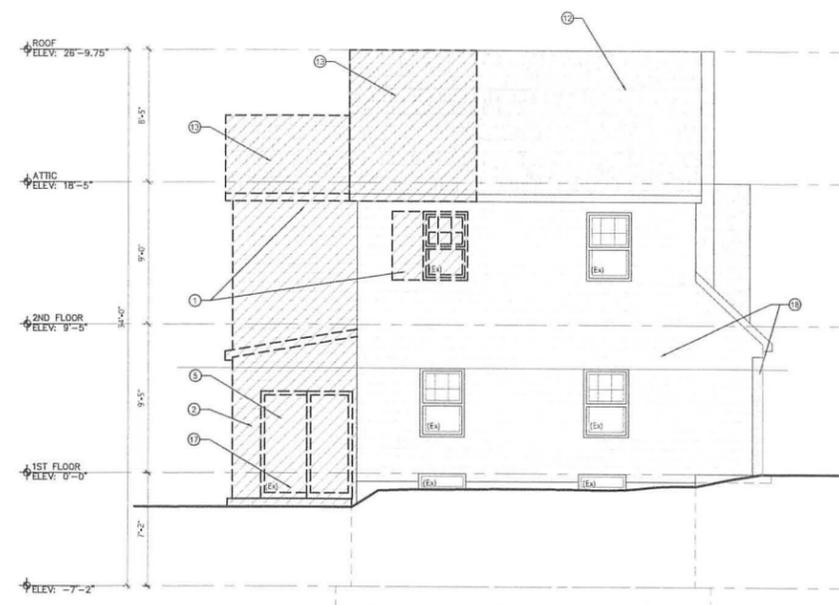
**PROJECT:**  
**DiMATTEO/DOUGHERTY RESIDENCE**  
56 FLOYD ROAD  
VERONA, NJ 07044



**DRAWING TITLE:**  
**DEMOLITION FLOOR PLANS AND NOTES**

<b>DRAWN BY:</b> MH	<b>CHECKED BY:</b> ES
<b>DATE:</b> OCT. 2025	<b>PROJECT NO.:</b> ES-2522

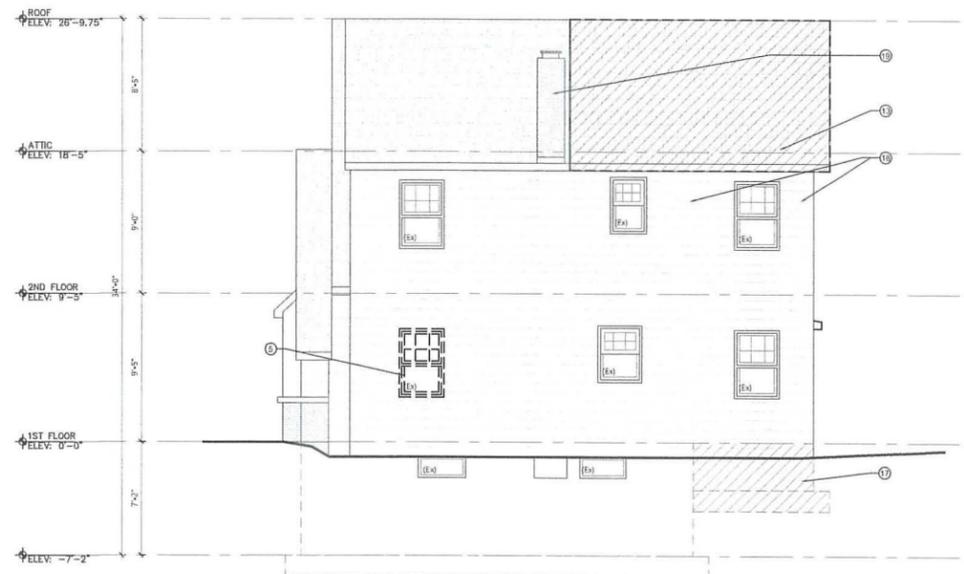
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**A-02**  
SHEET: 2 of 11



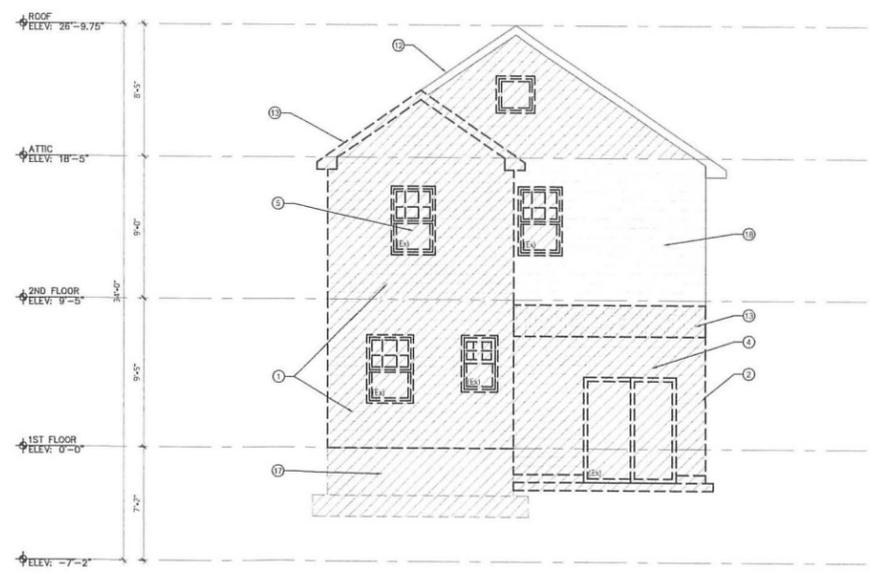
**1 DEMOLITION LEFT ELEVATION**  
 A-03 SCALE: 1/4" = 1'-0"  
 PLAN ACTUAL



**2 DEMOLITION FRONT ELEVATION**  
 A-03 SCALE: 1/4" = 1'-0"  
 PLAN ACTUAL

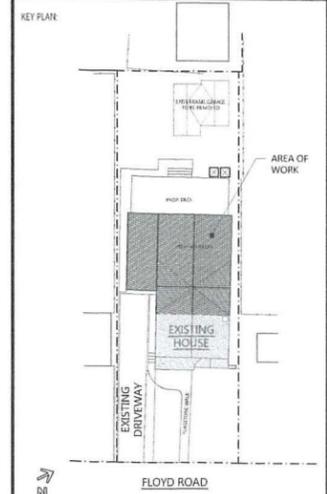


**3 DEMOLITION RIGHT ELEVATION**  
 A-03 SCALE: 1/4" = 1'-0"  
 PLAN ACTUAL



**4 DEMOLITION REAR ELEVATION**  
 A-03 SCALE: 1/4" = 1'-0"  
 PLAN ACTUAL

**Escott Architects, LLC**  
 28 Arlington Avenue  
 Caldwell, NJ 07006  
 P. 973.552.8886 | info@escottarchitects.com



NO.	DATE	DESCRIPTION
2	10/13/25	ISSUED FOR BID
1	10/10/25	ISSUED FOR ZONING

PROJECT:  
**DIMATTEO/DOUGHERTY RESIDENCE**  
 56 FLOYD ROAD  
 VERONA, NJ 07044

**DEMOLITION LEGEND**

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	WINDOW TO BE REMOVED
	DOOR & FRAME TO BE REMOVED
	ROOM NAME

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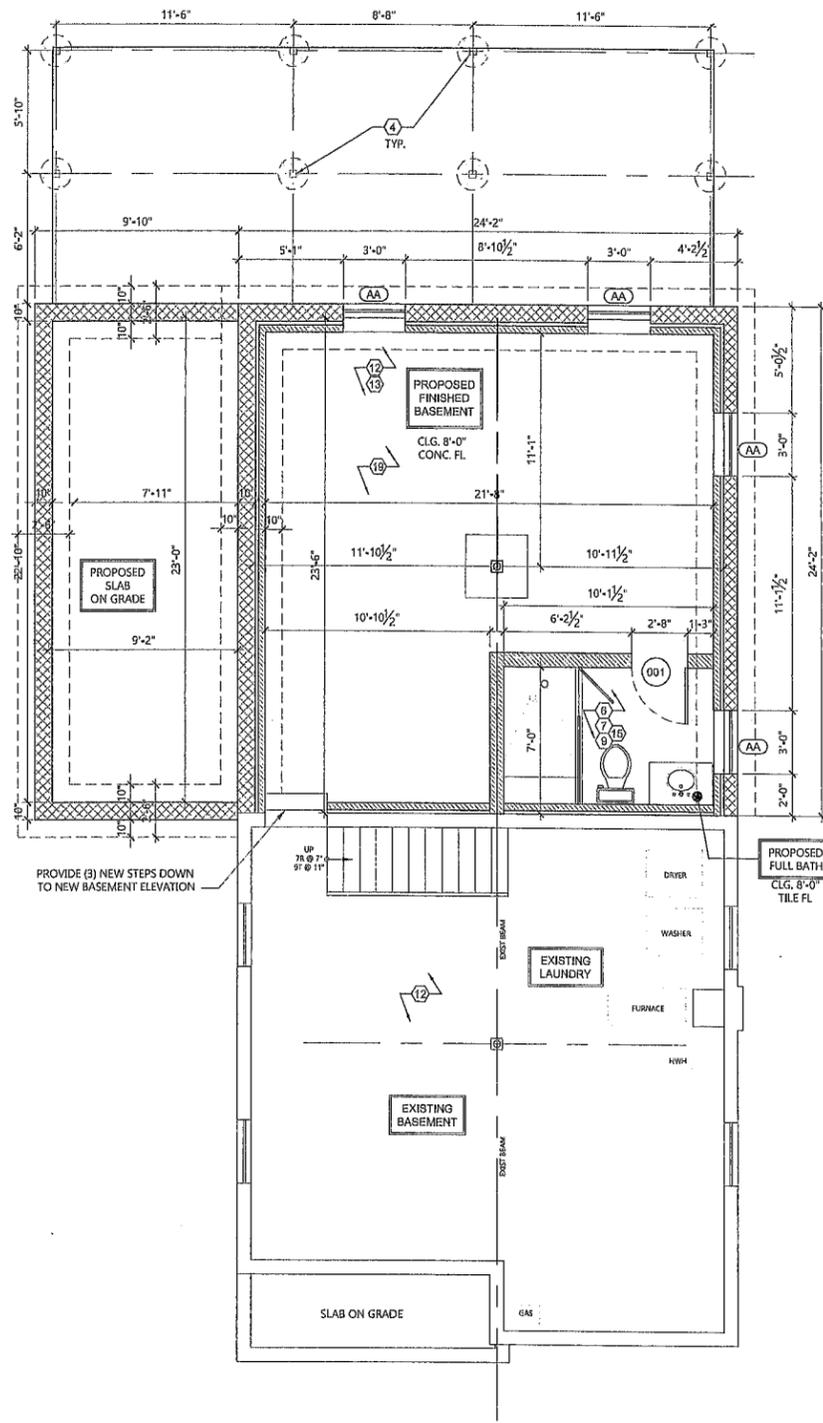
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  - REMOVE EXISTING DOOR, FRAMING, TRIM & ASSOCIATED HARDWARE. SALVAGE ALL DOOR HARDWARE FOR POSSIBLE REUSE.
  - REMOVE EXISTING WINDOW, WINDOW FRAMING, TRIM AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
  - EXISTING TILE FLOORING TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO GROUT, SETTING BED, SUB-FLOOR AND THE LIKE.
  - EXISTING KITCHEN ISLAND ONLY TO BE REMOVED INCLUDING CABINETS, COUNTER TOP, AND THE LIKE.
  - EXISTING KITCHEN APPLIANCES AND FLOOR/WALL CABINETS TO REMAIN. CONTRACTOR TO PROTECT AND SALVAGE CABINETS.
  - EXISTING PLUMBING FIXTURE TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO HANGERS, PIPING AND THE LIKE.
  - EXISTING CEILING TO BE REMOVED IN ITS ENTIRETY.
  - PROTECT WOOD FLOORS DURING CONSTRUCTION AS REQUIRED SO NO DENTING OR DAMAGE IS DONE DURING DEMOLITION OR CONSTRUCTION.
  - EXISTING ROOF SHINGLES TO REMAIN.
  - REMOVE EXISTING ROOF SHINGLES, SHEATHING, RAFTERS AND ASSOCIATED ITEMS FOR NEW ADDITION.
  - CREATE NEW TRENCH FOR CONTINUOUS FOOTING.
  - PREPARE AREA TO RECEIVE NEW CONCRETE SLAB ON GRADE.
  - PREPARE AREA TO RECEIVE NEW BASEMENT (FOOTING, COLUMN AND FOUNDATION WALLS)
  - REMOVE BUILDING FOOTING/FOUNDATION WALLS & SLAB.
  - PRESSURE WASH SIDING/EXTERIOR WALLS TO REMOVE BUILT-UP DIRT, GRIM AND PREPARE WALLS SURFACES FOR NEW PAINT APPLICATION.
  - TOP OF CHIMNEY TO BE REMOVED AND PREPARE FOR EXTENSION.

DRAWING TITLE:  
**DEMOLITION FLOOR PLANS AND NOTES**

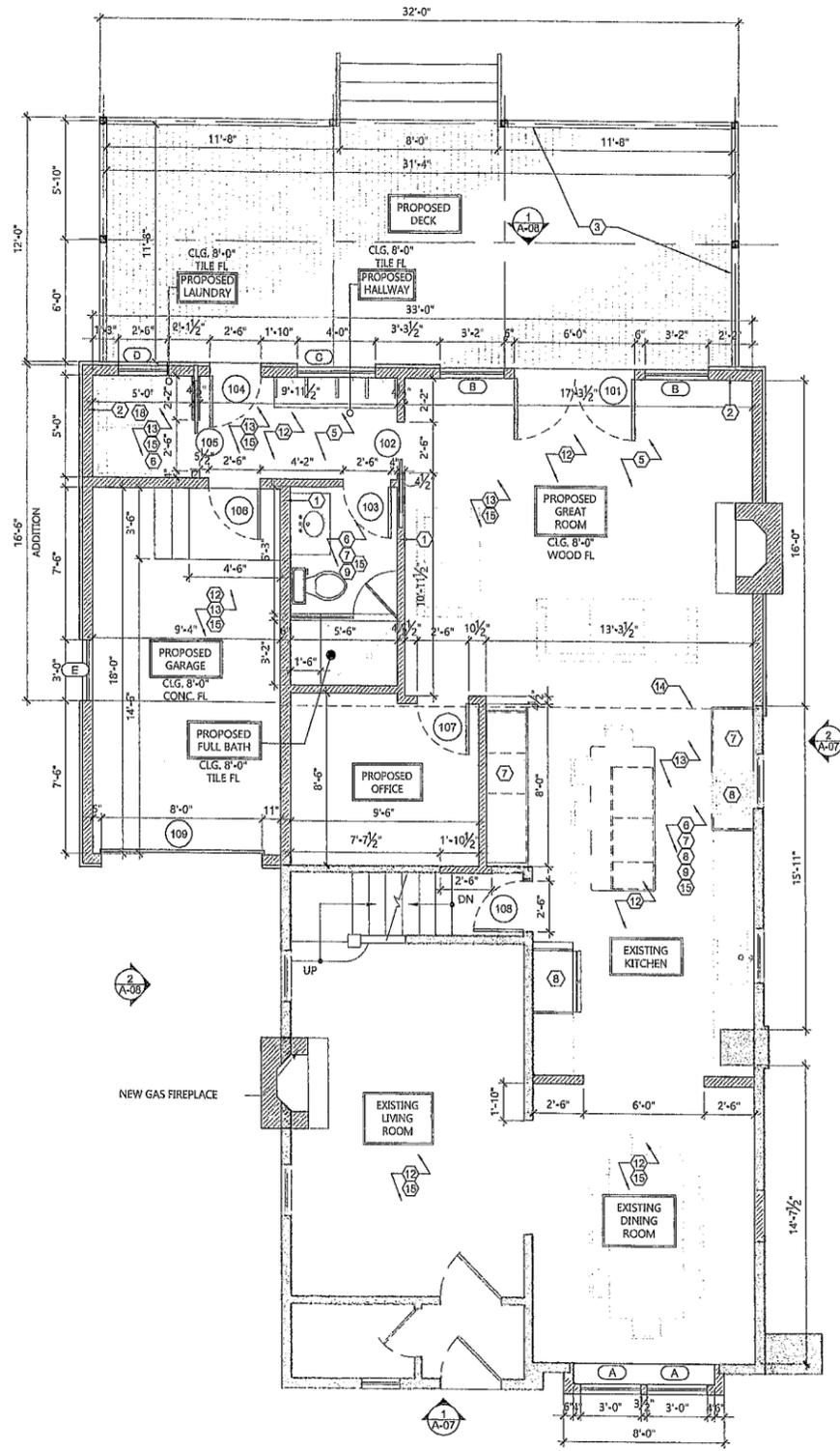
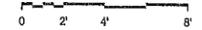
DRAWN BY: MH	CHECKED BY: ES
DATE: OCT. 2025	PROJECT NO: ES-2522

DRAWING NO:  
**A-03**

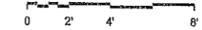
SHEET: 3 of 11



**1** PROPOSED BASEMENT/FOOTING PLAN  
A-04 SCALE: 1/4" = 1'-0"



**2** PROPOSED FIRST FLOOR PLAN  
A-04 SCALE: 1/4" = 1'-0"



**CONSTRUCTION PLAN LEGEND**

- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / cabinets as selected by owner
- 4" TYP.  
NEW DOOR & FRAME TO BE INSTALLED  
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED  
SEE WINDOW SCHEDULE FOR TYPE
- NAME ROOM NAME
- DET. #
- ELEVATION/SECTION KEY
- DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

**GENERAL CONSTRUCTION NOTES**

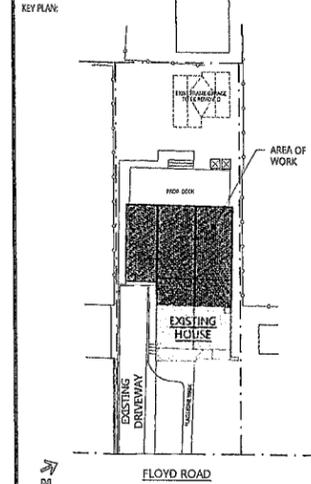
1. DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
5. ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION ON THE INTERIOR AND 1.5" INSULATED ZIP WALL SYSTEM WITH CONTINUOUS INSULATION ON THE EXTERIOR (ALTERNATE - CLOSED CELL SPRAY FOAM INSULATION R-30, NEW ROOF TO HAVE R-49, CONTINUOUS DRAPED BATT OR R60 CLOSED CELL SPRAY FOAM NEW FLOOR TO HAVE R-19, BASEMENT WALL R-10 OR BATT R-13 AS PER NJ IRC 2021 1102.1.2 AND IECC 402.1.1.
6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16: CFR 1201.
10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL FRAMING NOTE #19 ON SHEET A-07

**CONSTRUCTION KEY NOTES**

- 1 NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- 2 NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND R-21 BATT INSULATION, 1.5" THICK INSULATED ZIP WALL SYSTEM & NEW WOOD SIDING TO MATCH EXISTING SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- 3 NEW COMPOSITE WOOD DECK AND NEW COMPOSITE WOOD STAIRS WITH RAILING. COLOR AS SELECTED BY OWNER.
- 4 NEW CONCRETE FOOTING PIER IN SONO TUBE MIN 3'-0" BELOW GRADE WITH POST CAP ANCHORED TO TOP WITH MIN 1/2" DIA. J BOLT EMBEDDED MIN 10".
- 5 NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- 6 NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- 7 NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- 8 NEW KITCHEN APPLIANCE. COORDINATE WITH OWNER
- 9 NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- 10 NEW CLOSET SHELVING AS SELECTED BY OWNER
- 11 NEW WALK-IN TILE SHOWER WITH GLASS DOORS AND BUILT-IN BENCH.
- 12 NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- 13 NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOULDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- 14 NEW BEAM. SEE STRUCTURAL SIZE OPTIONS IN PLAN.
- 15 NEW FORCED HOT AIR HEATING-TO BE CONFIRMED WITH OWNER. PROVIDE NEW CENTRAL AIR CONDITIONING FOR COOLING.
- 16 NEW ASPHALT ROOFING SHINGLES AND SUBSTRUCTURE AT NEW ROOF.
- 17 EXISTING ROOF SHINGLE TO REMAIN.
- 18 PROVIDE NEW CLOSET. NEW WASHER & DRYER AS SELECTED BY OWNER.
- 19 NEW FINISHED BASEMENT. FLOOR, WALL & CEILING FINISHES AS SELECTED BY OWNER
- 20 PROVIDE NEW PAINT ON EXTERIOR WALLS. COLOR AS SELECTED BY OWNER.



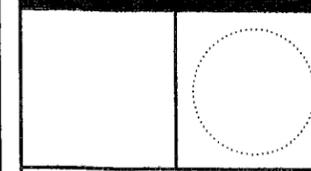
**Escott Architects, LLC**  
28 Arlington Avenue  
Caldwell, NJ 07006  
P. 873.552.8208 | info@escottarch.com



NO.	DATE	DESCRIPTION
2	10/13/25	ISSUED FOR BID
1	10/10/25	ISSUED FOR ZONING

PROJECT:  
**DiMATTEO/DOUGHERTY RESIDENCE**

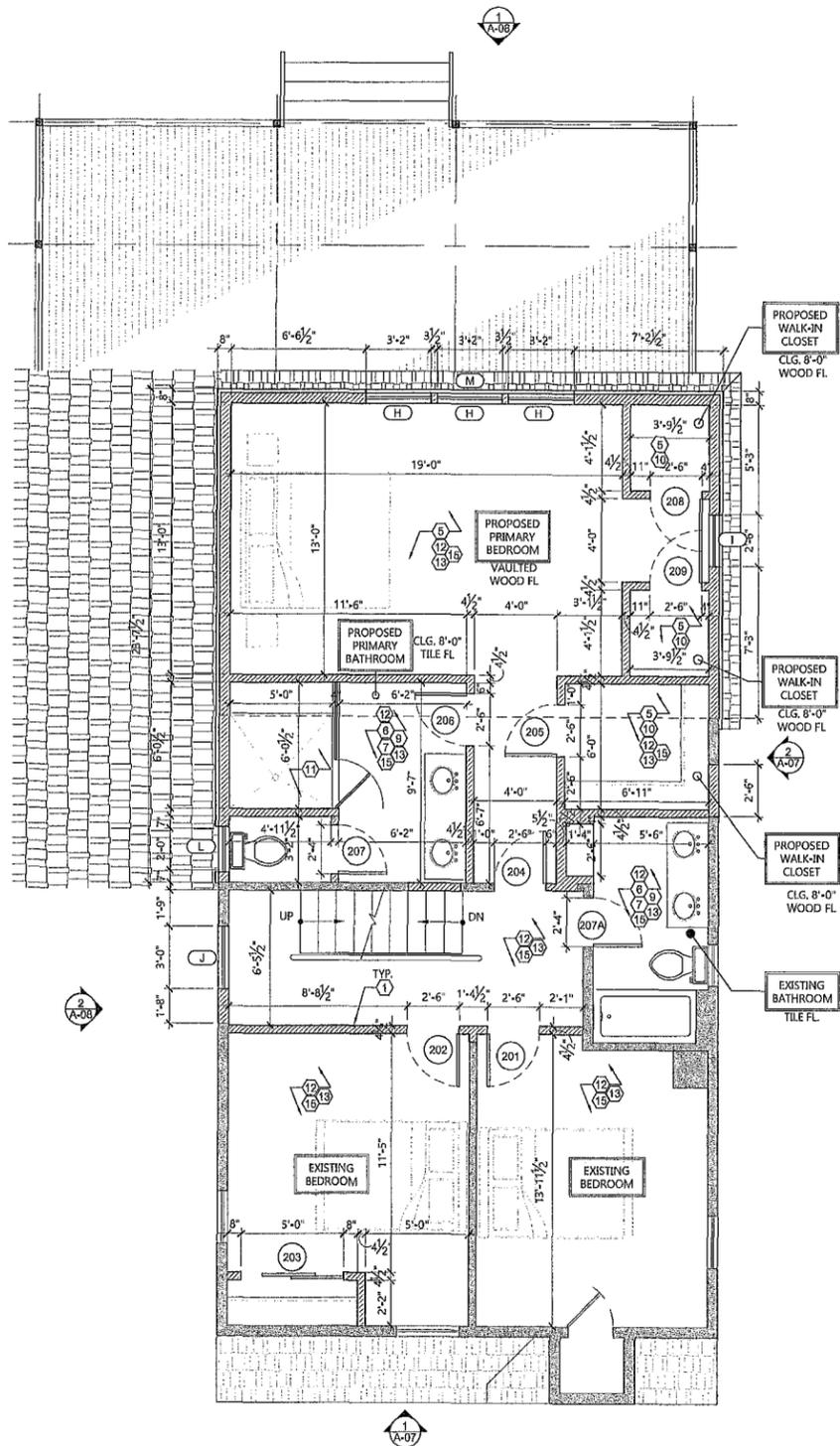
56 FLOYD ROAD  
VERONA, NJ 07044



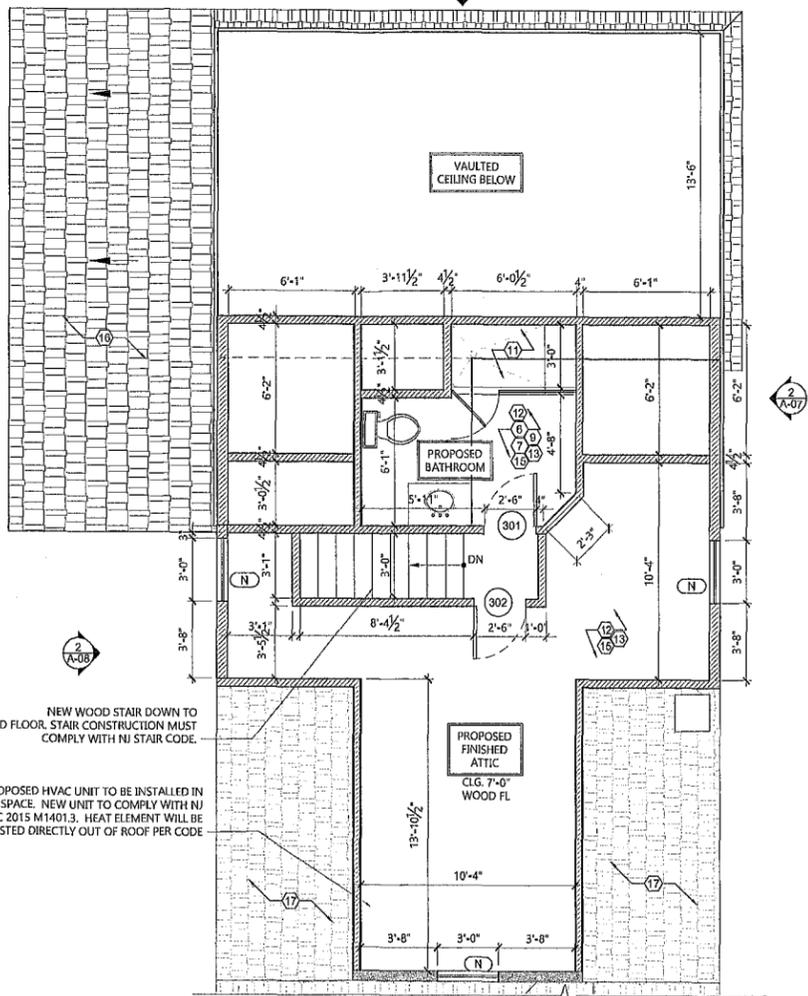
DRAWING TITLE:  
**PROPOSED BASEMENT & FIRST FLOOR PLANS**

DRAWN BY: MH	CHECKED BY: ES
DATE: OCT 2025	PROJECT NO: ES-2522

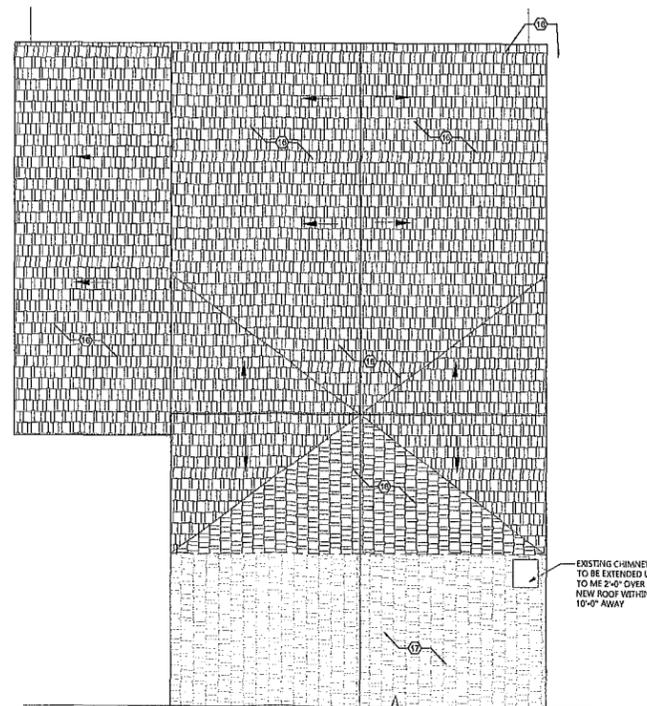
DRAWING NO:  
**A-04**  
SHEET: 4 of 11



1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 PROPOSED ATTIC PLAN  
SCALE: 1/4" = 1'-0"



3 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"



CONSTRUCTION PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / CABINETS AS SELECTED BY OWNER
- 4" TYP.
- NEW DOOR & FRAME TO BE INSTALLED  
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED  
SEE WINDOW SCHEDULE FOR TYPE
- ROOM NAME
- DET. #  
ELEVATION/SECTION KEY  
DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

1. DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
5. ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION. NEW ROOF TO HAVE R-49. NEW FLOOR TO HAVE R-19, BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2015 1102.1.2 AND DEC 402.1.1.
6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16: CFR 1201.
10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2014.
11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2015, R302.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL SHEET, NOTE #4.

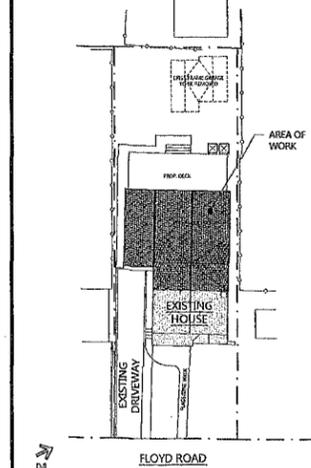
CONSTRUCTION KEY NOTES

- 1 NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- 2 NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND R-21 BATT INSULATION, 1.5" THICK INSULATED ZIP WALL SYSTEM & NEW WOOD SIDING TO MATCH EXISTING SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- 3 NEW COMPOSITE WOOD DECK AND NEW COMPOSITE WOOD STAIRS WITH RAILING. COLOR AS SELECTED BY OWNER.
- 4 NEW CONCRETE FOOTING PIER IN SONO TUBE MIN 3'-0" BELOW GRADE WITH POST CAP ANCHORED TO TOP WITH MIN 1/2" DIA. J BOLT EMBEDDED MIN 10".
- 5 NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- 6 NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- 7 NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- 8 NEW KITCHEN APPLIANCE. COORDINATE WITH OWNER.
- 9 NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- 10 NEW CLOSET SHELVING AS SELECTED BY OWNER.
- 11 NEW WALK-IN TILE SHOWER WITH GLASS DOORS AND BUILT-IN BENCH.
- 12 NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- 13 NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOULDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- 14 NEW BEAM. SEE STRUCTURAL SIZE OPTIONS IN PLAN.
- 15 NEW FORCED HOT AIR HEATING-TO BE CONFIRMED WITH OWNER. PROVIDE NEW CENTRAL AIR CONDITIONING FOR COOLING.
- 16 NEW ASPHALT ROOFING SHINGLES AND SUBSTRUCTURE AT NEW ROOF.
- 17 EXISTING ROOF SHINGLE TO REMAIN.
- 18 PROVIDE NEW CLOSET, NEW WASHER & DRYER AS SELECTED BY OWNER.
- 19 NEW FINISHED BASEMENT. FLOOR, WALL & CEILING FINISHES AS SELECTED BY OWNER.
- 20 PROVIDE NEW PAINT ON EXTERIOR WALLS. COLOR AS SELECTED BY OWNER.



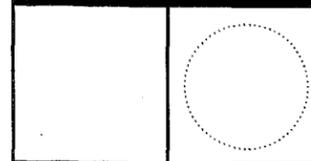
EScott Architects, LLC  
28 Arlington Avenue  
Caldwell, NJ 07006  
P. 973.552.8066 | info@escottarchitects.com

KEY PLAN:



2	10/13/25	ISSUED FOR BID
1	10/10/25	ISSUED FOR ZONING
NO.:	DATE	DESCRIPTION

PROJECT:  
**DIMATTEO/DOUGHERTY RESIDENCE**  
  
56 FLOYD ROAD  
VERONA, NJ 07044



DRAWING TITLE:  
**PROPOSED SECOND, ATTIC & ROOF FLOOR PLANS**

DRAWN BY: MMH	CHECKED BY: ES
DATE: OCT 2025	PROJECT NO.:ES-2522

DRAWING NO.:  
**A-05**  
SHEET: 5 of 11



**CONSTRUCTION PLAN LEGEND**

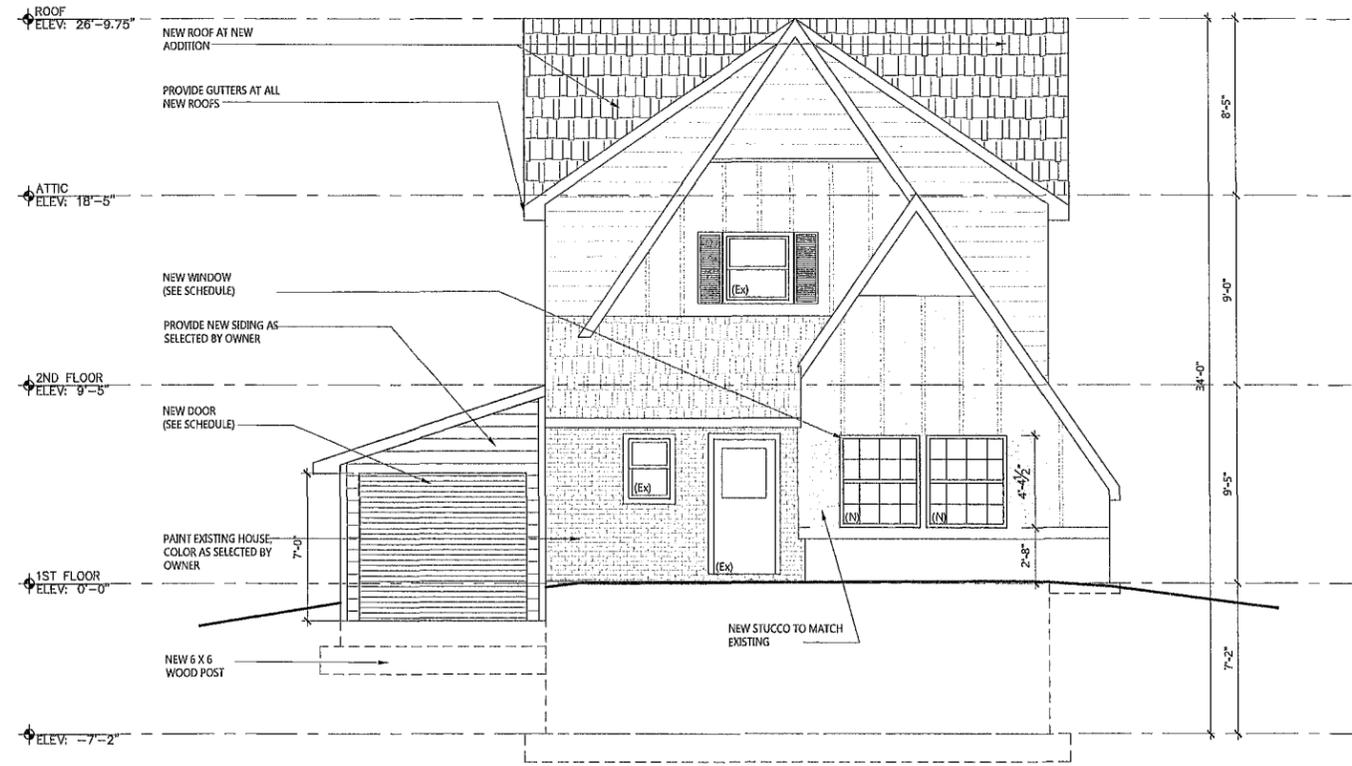
-  EXISTING WALL TO REMAIN
-  NEW GYP. BD. PARTITION
-  NEW MILLWORK / CABINETS AS SELECTED BY OWNER
-  4" TYP.  
NEW DOOR & FRAME TO BE INSTALLED  
SEE DOOR SCHEDULE FOR TYPE
-  NEW WINDOW & FRAME TO BE INSTALLED  
SEE WINDOW SCHEDULE FOR TYPE
-  ROOM NAME
-  DET. #  
ELEVATION/SECTION KEY  
DWG #
-  DENOTES KEY NOTE, SEE KEY NOTES RIGHT

**GENERAL CONSTRUCTION NOTES**

1. DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
5. ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION ON THE INTERIOR AND 1.5" INSULATED ZIP WALL SYSTEM WITH CONTINUOUS INSULATION ON THE EXTERIOR (ALTERNATE - CLOSED CELL SPRAY FOAM INSULATION R-50). NEW ROOF TO HAVE R-49. NEW FLOOR TO HAVE R-19, BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2021 1102.1.2 AND IECC 402.1.1.
6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16 CFR 1201.
10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL FRAMING NOTE #19 ON SHEET A-07

**CONSTRUCTION KEY NOTES**

1. NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP. BD ON BOTH SIDES OF WALL. WHERE 6" WALL. PROVIDE 2X6 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP. BD. ON INTERIOR SIDES OF WALL.
2. NEW 2X6 WOOD STUD WALL WITH 1/2" GYP. BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION, EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
3. NEW 10" CMU REINFORCED FOUNDATION WALL. PROVIDE WALL VENTS AT ALL WALLS. NEW FOOTING TO BE MIN. 3'-0" BELOW GRADE AND BE STEPPED DOWN TO EXISTING HOUSE FOOTING.
4. NEW PROPOSED CRAWL SPACE. PROVIDE 3" CONCRETE SLAB OVER CRUSHED STONE COMPACTED BASE.
5. NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
6. NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
7. NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
8. EXISTING KITCHEN CABINETS TO REMAIN. PROVIDE NEW ISLAND AND COUNTER AS SELECTED BY OTHERS. COORDINATE WITH OWNER.
9. NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
10. NEW CLOSET/PANTRY SHELVING AS SELECTED BY OWNER.
11. NEW TUB/SHOWER COMBO UNIT WITH GLASS DOORS.
12. NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
13. NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOULDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
14. NEW HEATING/AIR CONDITIONING TO BE CONFIRMED WITH OWNER AT EXTENT OF NEW WORK.
15. NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
16. NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND.
17. NEW ROOFING SHINGLE AND SUBSTRUCTURE AT EXTENT OF NEW BUILDING. PROVIDE NEW RAFTERS, SHEATHING, VAPOR BARRIER AND ICE-WATER SHIELD AS REQUIRED.
18. EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.



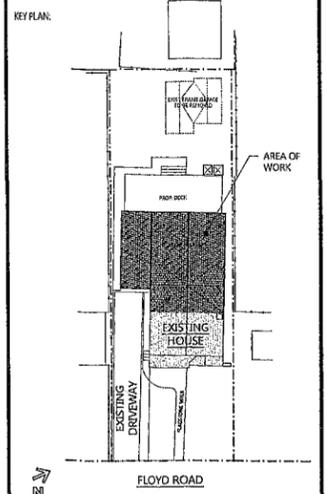
**1 FRONT SIDE PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"  
PLAN ACTUAL



**2 RIGHT SIDE PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"  
PLAN ACTUAL

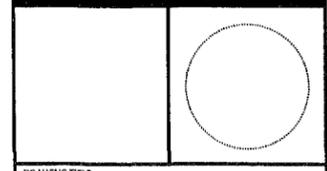


**EScott Architects, LLC**  
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Caldwell, NJ 07006  
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NO.	DATE	DESCRIPTION
2	10/13/25	ISSUED FOR BID
1	10/10/25	ISSUED FOR ZONING

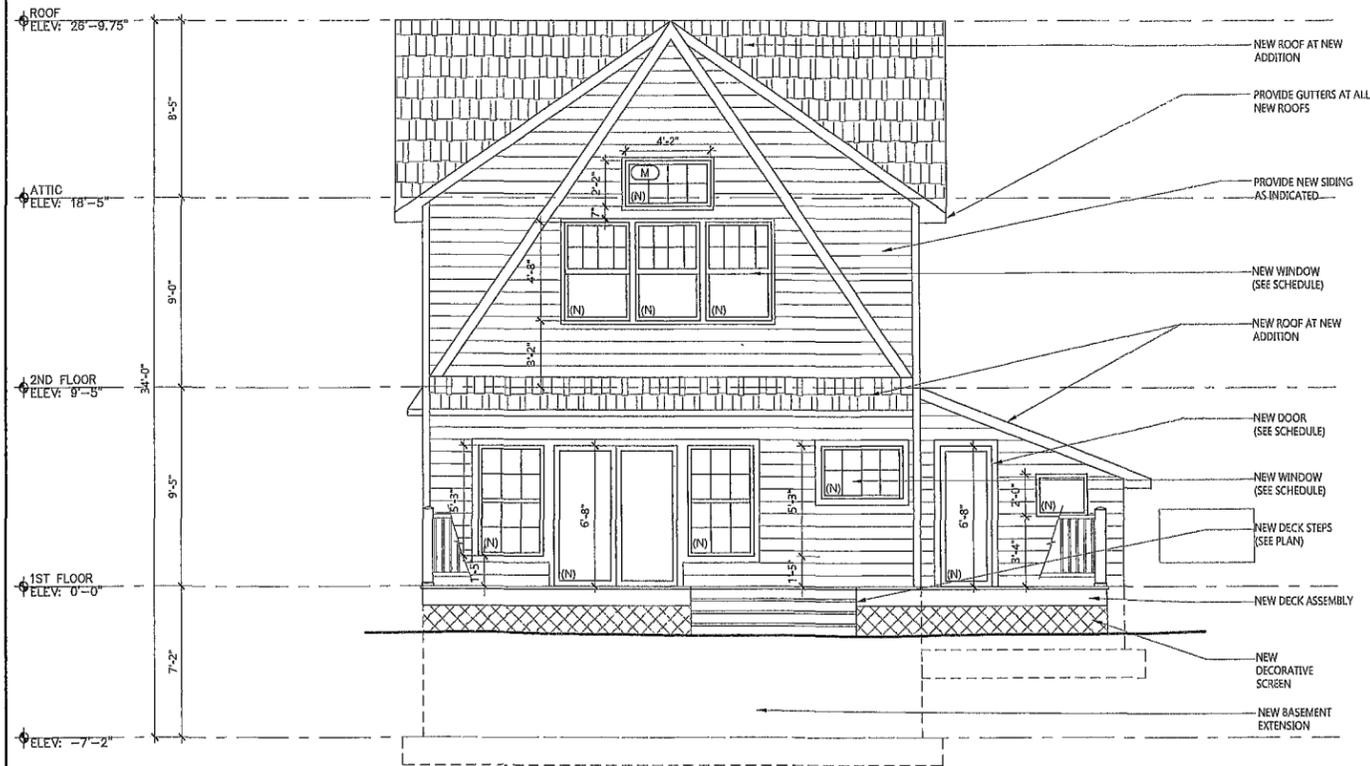
**PROJECT:**  
**DIMATTEO/DOUGHERTY RESIDENCE**  
  
56 FLOYD ROAD  
VERONA, NJ 07044



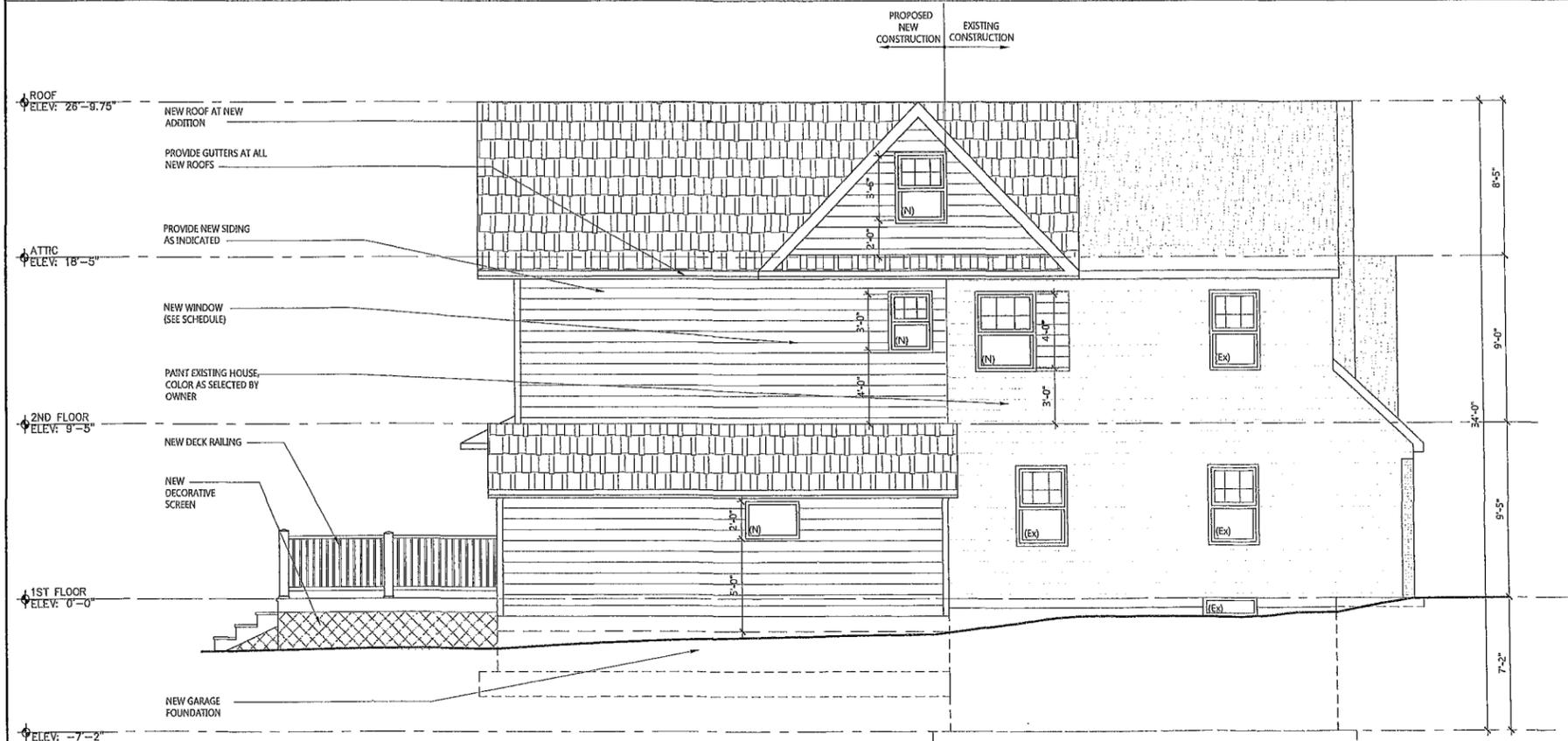
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**PROPOSED ELEVATIONS 1**

DRAWN BY: MH	CHECKED BY: ES
DATE: OCT 2025	PROJECT NO: ES-2522

**DRAWING NO:**  
**A-07**  
SHEET: 7 of 11



**1 REAR SIDE PROPOSED WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 PLAN ACTUAL



**2 LEFT SIDE PROPOSED SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 PLAN ACTUAL

**CONSTRUCTION PLAN LEGEND**

- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / cabinets as selected by owner
- 4" TYP.  
NEW DOOR & FRAME TO BE INSTALLED  
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED  
SEE WINDOW SCHEDULE FOR TYPE
- ROOM NAME
- DET. #  
ELEVATION/SECTION KEY  
DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

**GENERAL CONSTRUCTION NOTES**

1. DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
5. ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION ON THE INTERIOR AND 1.5" INSULATED ZIP WALL SYSTEM WITH CONTINUOUS INSULATION ON THE EXTERIOR (ALTERNATE - CLOSED CELL SPRAY FOAM INSULATION R-30). NEW ROOF TO HAVE R-49. NEW FLOOR TO HAVE R-19. BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2021 1102.1.2 AND IECC 402.1.1.
6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN / MOLDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING. CPSC 16: CFR 1201.
10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL FRAMING NOTE #19 ON SHEET A-07

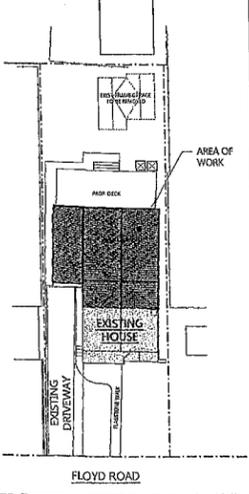
**CONSTRUCTION KEY NOTES**

1. NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD ON BOTH SIDES OF WALL. WHERE 6" WALL, PROVIDE 2X6 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
2. NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION, EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
3. NEW 10" CMU REINFORCED FOUNDATION WALL. PROVIDE WALL VENTS AT ALL WALLS. NEW FOOTING TO BE MIN. 3'-0" BELOW GRADE AND BE STEPPED DOWN TO EXISTING HOUSE FOOTING.
4. NEW PROPOSED CRAWL SPACE. PROVIDE 3" CONCRETE SLAB OVER CRUSHED STONE COMPACTED BASE.
5. NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
6. NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
7. NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
8. EXISTING KITCHEN CABINETS TO REMAIN. PROVIDE NEW ISLAND AND COUNTER AS SELECTED BY OTHERS. COORDINATE WITH OWNER.
9. NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
10. NEW CLOSET/PANTRY SHELVING AS SELECTED BY OWNER.
11. NEW TUB/SHOWER COMBO UNIT WITH GLASS DOORS.
12. NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
13. NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
14. NEW HEATING/AIR CONDITIONING TO BE CONFIRMED WITH OWNER AT EXTENT OF NEW WORK.
15. NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
16. NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND.
17. NEW ROOFING SHINGLE AND SUBSTRUCTURE AT EXTENT OF NEW BUILDING. PROVIDE NEW RAFTERS, SHEATHING, VAPOR BARRIER AND ICE-WATER SHIELD AS REQUIRED.
18. EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.



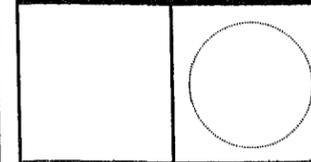
**EScott Architects, LLC**  
 28 Arlington Avenue  
 Caldwell, NJ 07006  
 202.552.2586 | info@escottarch.com

**KEY PLAN:**



NO.	DATE	DESCRIPTION
2	10/13/25	ISSUED FOR BID
1	10/10/25	ISSUED FOR ZONING

PROJECT:  
**DIMATTEO/DOUGHERTY RESIDENCE**  
 56 FLOYD ROAD  
 VERONA, NJ 07044



DRAWING TITLE:  
**PROPOSED ELEVATIONS**  
 2

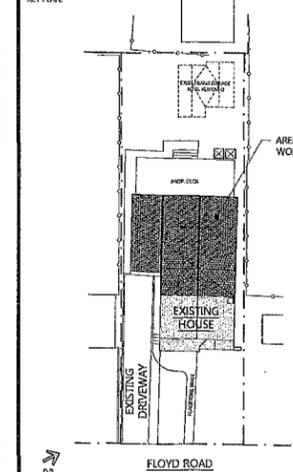
DRAWN BY: MH	CHECKED BY: ES
DATE: OCT 2025	PROJECT NO: ES-2522

DRAWING NO:  
**A-08**  
 SHEET: 8 of 11



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KEY PLAN



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PROJECT:

DiMATTEO/DOUGHERTY  
RESIDENCE

56 FLOYD ROAD  
VERONA, NJ 07044

DRAWING TITLE:

PROPOSED  
ELECTRICAL  
FLOOR PLANS

DRAWN BY: MMH	CHECKED BY: ES
DATE: OCT 2025	PROJECT NO: ES-2522

DRAWING NO.:

E-01

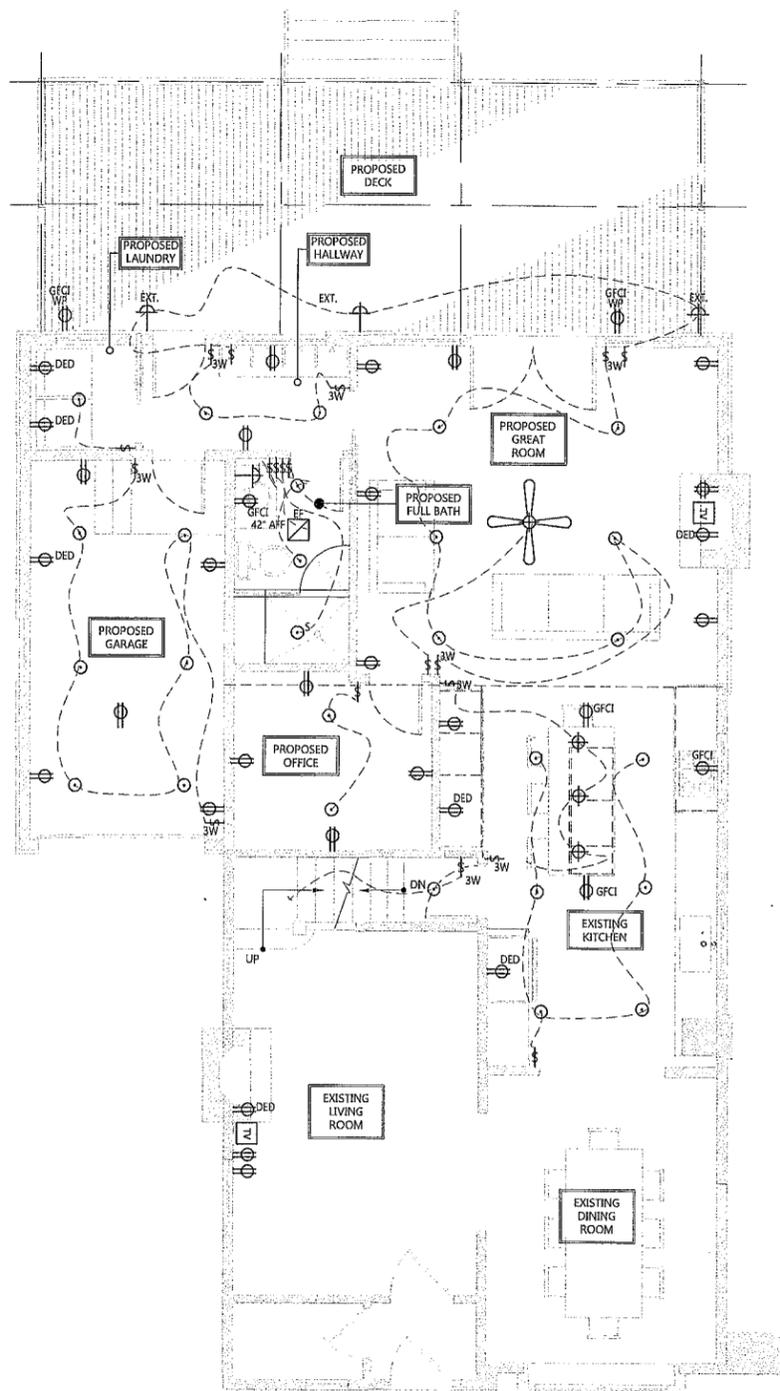
SHEET: 15 of 16

ELECTRICAL LEGEND

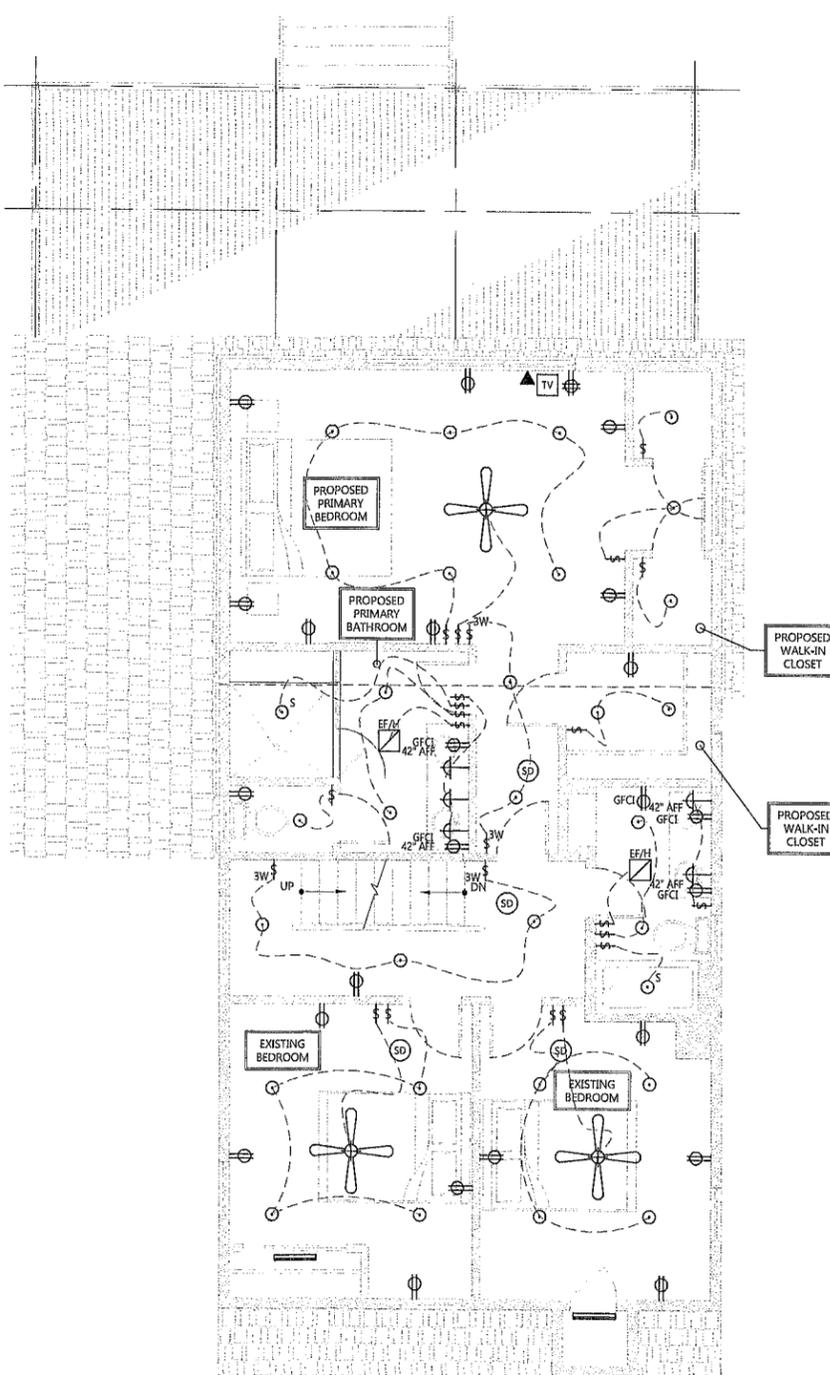
- ELECTRICAL PATH
- NEW SWITCH - 42" AFF
- NEW SWITCH - 42" AFF - FAN/LIGHT
- NEW SWITCH - 42" AFF - (3) WAY
- NEW SWITCH - 42" AFF - (3) WAY FAN/LIGHT
- DUPLEX RECEPTACLE  
12" AFF UNLESS NOTED
- QUADRUPLE RECEPTACLE  
12" AFF UNLESS NOTED
- GFCI
- DEDICATED OUTLET FOR EQUIPMENT  
12" AFF UNLESS NOTED
- WEATHER PROOF DUPLEX RECEPTACLE  
12" AFF UNLESS NOTED
- SURFACE MTD CEILING LIGHT FIXTURE
- RECESSED LED CEILING FIXTURE, 5" DIA.
- RECESSED LED CEILING FIXTURE, 5" DIA. WITH SHOWER ENCLOSURE TRIM
- WALL SCONCE
- LED TRACK - 22" LONG & 4" LONG
- CEILING FAN / LIGHT
- MOTION DETECTOR FLOOD LIGHT
- NEW SMOKE DETECTORS - AC-POWERED INTERCONNECTED -  
W/ BATTERY BACK-UPS, CEILING MTD U.O.N. CARBON MONOXIDE IN HALLWAY
- CABLE TELEVISION JACK
- BATH EXHAUST FAN (80 CFM MIN) - PANASONIC OR APPROVED EQUAL  
EF/H - EXHAUST FAN WITH HEATER.
- CAT-6 CABLE TERMINATION RUN TO BASEMENT INTERNET HUB

ELECTRICAL NOTES

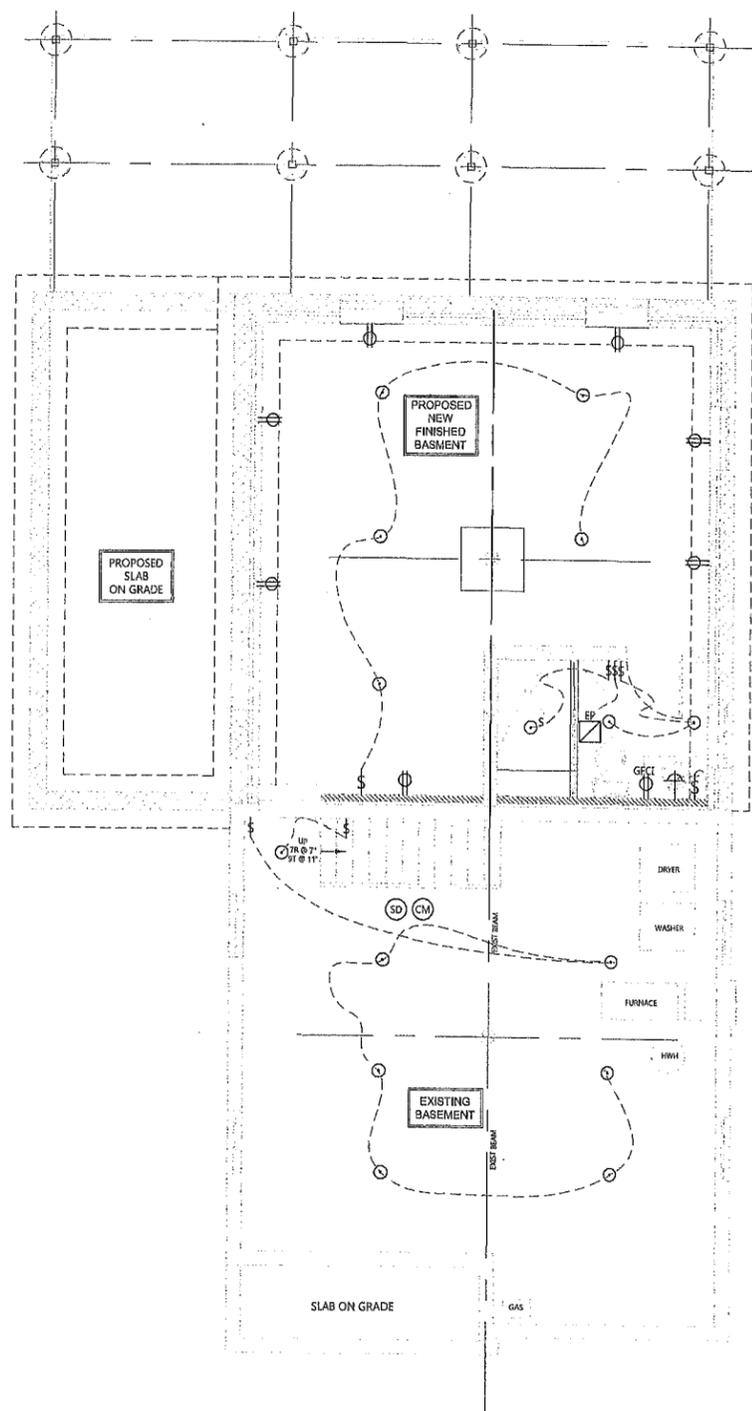
- NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER APPLICABLE CODES.
- ALL NEW SMOKE DETECTORS REQUIRED TO BE HARDWIRED TO NEW CIRCUIT OR LIGHTING CIRCUIT PER NFPA 72 AND UCC 5-23-6, WITH BATTERY BACK-UP.
- RECESSED CEILING LIGHT FIXTURES TO BE 4" DIA. HALO - WHITE TRIM OR APPROVED EQUAL.
- CONFIRM ALL EXISTING OUTLETS AND SWITCHES WORK AND REWIRE AS NECESSARY TO MEET CONTRACT DRAWING REQUIREMENTS.
- CONTRACTOR TO PROVIDE ALL OUTLETS NECESSARY TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
- ALL CLOSET LIGHTING TO BE INSTALLED MIN. 6" OFF OF PROPOSED SHELVING AND HAVE COVERED TRIM ENCLOSURE AND BE LED TYPE. CONFIRM WITH OWNER.
- ALL WALL SWITCHES TO BE INSTALLED MIN. 8" OFF OF DOOR ROUGH OPENING TO ENSURE CLEARANCE FOR TRIM.
- ALL OUTLETS TO BE TAMPER RESISTANT TYPE PER APPLICABLE CODES.
- EXTEND EXISTING SECURITY SYSTEM TO NEW ADDITION AND TIE BACK INTO MAIN SYSTEM.
- PROVIDE NEW DEDICATED MAKE-UP AIR SYSTEM FOR THE NEW PROPOSED RANGE HOOD. NEW HOOD TO BE 800 CFM AND REQUIRES INTERCONNECTION TO MAKE-UP AIR DUCT AND AUTOMATIC DAMPER.



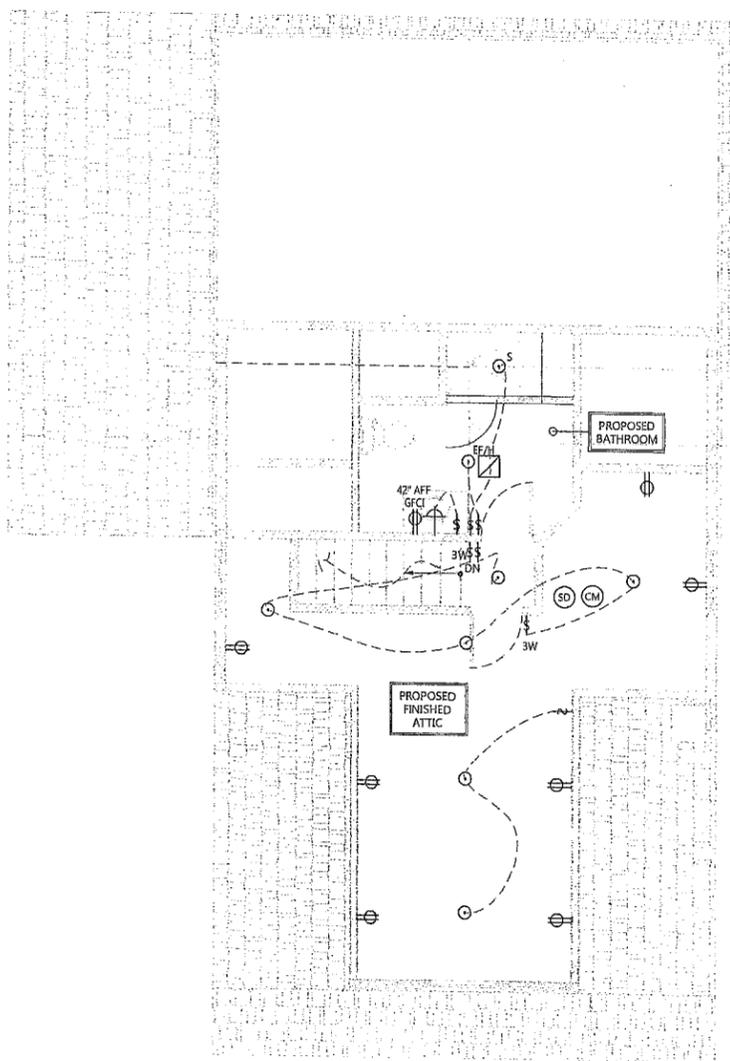
1 PROPOSED FIRST FLOOR ELECTRICAL PLAN  
E-01 SCALE: 3/16" = 1'-0"



2 PROPOSED SECOND FLOOR ELECTRICAL PLAN  
E-01 SCALE: 3/16" = 1'-0"



**1** PROPOSED BASEMENT ELECTRICAL PLAN  
 SCALE: 1/4" = 1'-0"  
 PLAN ACTUAL



**2** PROPOSED ATTIC ELECTRICAL PLAN  
 SCALE: 3/16" = 1'-0"  
 PLAN ACTUAL

**ELECTRICAL LEGEND**

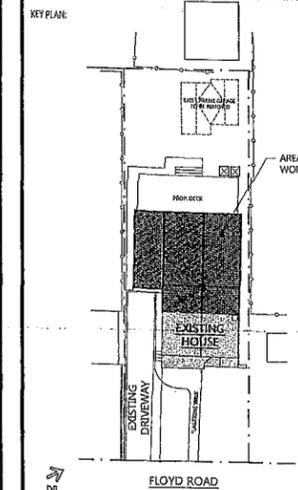
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- GFCI ⊕ GROUND FAULT CIRCUIT INTERRUPTED DUPLEX RECEPTACLE 12" AFF UNLESS NOTED
- ⊕ DED DEDICATED OUTLET FOR EQUIPMENT 12" AFF UNLESS NOTED
- ⊕ WP WEATHER PROOF DUPLEX RECEPTACLE 12" AFF UNLESS NOTED
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- ⊙ RECESSED LED CEILING FIXTURE, 5" DIA.
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- ⊕ MOTION DETECTOR FLOOD LIGHT
- ⊕ SD/CM NEW SMOKE DETECTORS - AC-POWERED INTERCONNECTED - W/ BATTERY BACK-UPS, CEILING MTD U.O.N. CARBON MONOXIDE IN HALLWAY
- ⊕ TV CABLE TELEVISION JACK
- ⊕ EF/H BATH EXHAUST FAN (80 CFM MIN) - PANASONIC OR APPROVED EQUAL EF/H - EXHAUST FAN WITH HEATER.
- ▼ CAT-6 CABLE TERMINATION RUN TO BASEMENT INTERNET HUB

**ELECTRICAL NOTES**

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PROJECT:  
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 VERONA, NJ 07044

DRAWING TITLE:  
**PROPOSED ELECTRICAL FLOOR PLANS**

DRAWN BY: MMH	CHECKED BY: ES
DATE: OCT 2025	PROJECT NO: ES-2522

DRAWING NO:  
**E-02**